

PROPOSED SITE PLAN

SQUARE FOOTAGE CALCULATIONS

FIRST FLOOR.....	2,491.97 SQ. FT.
SECOND FLOOR.....	2,822.86 SQ. FT.
THIRD FLOOR.....	1,779.92 SQ. FT.
TOTAL LIVING AREA.....	7,092.75 SQ. FT.
EXISTING GARAGE.....	463.30 SQ. FT.
NEW GARAGE ADDITION.....	536.25 SQ. FT.
LAUNDRY ADDITION.....	103.65 SQ. FT.

SITE PLAN KEY NOTES

SYM	DET.	DESCRIPTION
(01)		EXISTING CONCRETE DRIVE APPROACH TO REMAIN
(02)		EXISTING CONCRETE DRIVE TO BE REMAIN
(03)		NEW 6" HIGH CMU WALL
(04)		EXISTING 6" HIGH CMU WALL
(05)		NEW CURB CUT AND CONC. DRIVE APPROACH
(06)		EXISTING PORTE COCHERE STRUCTURE TO REMAIN
(07)		EXISTING ONE STORY STRUCTURE TO BE REMOVED
(08)		EXISTING ONE STORY GARAGE STRUCTURE TO BE REMOVED
(09)		NEW LOCATION OF NEW 2 CAR GARAGE

GENERAL NOTES

- REFER TO GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION.
- CITY GRADING ENGINEER SHALL BE CONTACTED PRIOR TO START OF GRADING TO SCHEDULE A PRE-GRADING MEETING.
- REFER TO GRADING PLAN FOR PRECISE GRADING INFORMATION.
- REFER TO SOILS REPORT FOR GRADING REQUIREMENTS.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO HAVE GRADING, COMPACTION, BACK FILLING, FOOTING AND UTILITY INSPECTIONS COMPLETED PRIOR TO BEGINNING NEXT PHASE OF CONSTRUCTION.
- SEPARATE PERMIT REQUIRED FOR EACH BUILDING OR STRUCTURE, I.E. FENCE WALLS, RETAINING WALLS, SWIMMING POOLS, ETC.
- BUILDING ADDRESS NUMBERS TO BE PROVIDED ON THE FRONT OF ALL BUILDINGS AND SHALL BE VISIBLE AND LEGIBLE FROM STREET FRONTING PROPERTY. SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. FIRE CODE 901.4.4.
- FINISH GRADE WITHIN 10 FEET OF THE NEW STRUCTURE SHALL BE SLOPED A MINIMUM OF 5% AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES.

SCOPE OF WORK

- (A) - EXISTING CONCRETE DRIVE APPROACH TO REMAIN
- (B) - CUT IN NEW CONCRETE DRIVE APPROACH TO COMFORM TO CITY STANDARDS
- (C) - REMOVE EXISTING GARAGE
- (D) - CONSTRUCT NEW GARAGE TO CONFORM TO CITY REGULATIONS AND HISTORICAL DISTRICT STANDARDS
- (E) - PROPOSED NEW LOT FOR (1) UNIT ONLY

SHEET INDEX:

ARCHITECTURE DISCIPLINE

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- T-1.2 EXISTING WEST ELEVATIONS / WINDOW SCHEDULE
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- A-1.2 THIRD FLOOR PLAN
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- SN-2 STRUCTURAL NOTES - SCHEDULES
- S-1 FOUNDATION - FRAMING PLANS
- D-1 STRUCTURAL DETAILS
- HFX1 HARDY FRAME DETAILS
- HFX2 HARDY FRAME DETAILS
- HFX3 HARDY FRAME DETAILS

PROJECT DATA:

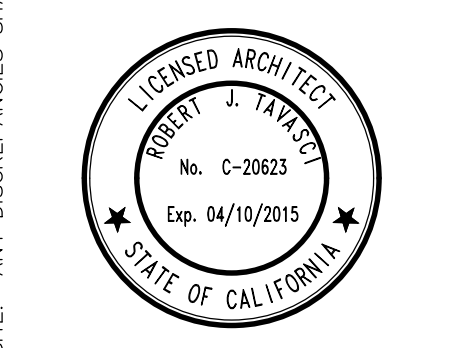
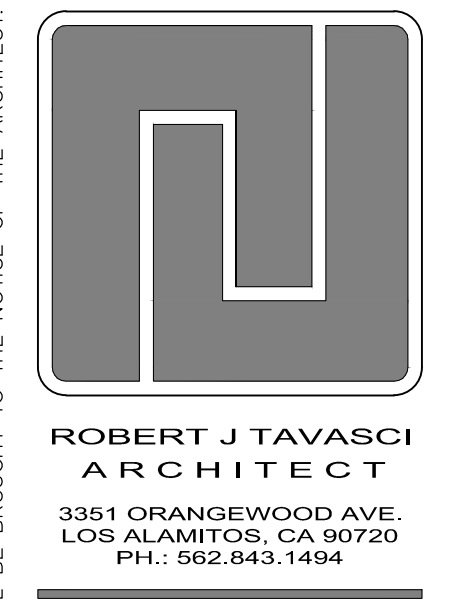
CLIENT: ISRAEL WEINBERG

PROJECT ADDRESS
3065 E. OCEAN BLVD.
SEAL BEACH, CA 90740

ZONING INFORMATION
ZONE: R-2L
OCCUPANCY: R
CONSTRUCTION TYPE: TYPE V-B
MAXIMUM HEIGHT: 35 FT. (31'-0" EXISTING HOUSE)
(14'-4" NEW GARAGE)

MIN. LOT COVERAGE: 60% ALLOWED (33% PROVIDED)
MIN. LOT SIZE: 8,000 SQ.FT. (8,000 SQ.FT. PROVIDED)

SETBACKS:
FRONT: 15'-0; 20'-0" PROVIDED
REAR: 10'-0" REQUIRED 30'-0" PROVIDED
SIDE YARD: 4'-0" REQUIRED 5'-0" PROVIDED



OWNER:
WEATHERING HEIGHTS, LLC
3065 OCEAN BLVD.
LONG BEACH, CA 90803

PROJECT:
SUBDIVISION PROJECT
3065 OCEAN BLVD.
LONG BEACH, CA 90803

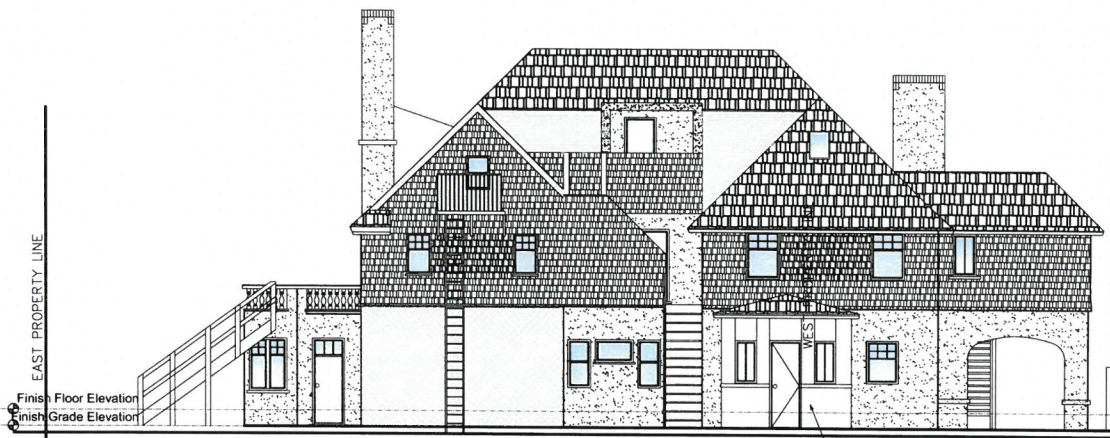
REVISIONS:
23 APRIL 2019

SHEET TITLE:
TITLE SHEET/
PROPOSED
SUBDIVISION /
SITE PLAN

PROJECT NO: 2044-14
DATE: 04 APRIL 2017
DRAWN BY: RJT
SCALE: NTS
FILE NAME: 3065 E OCEAN.dwg
SHEET NO:

T-1.0

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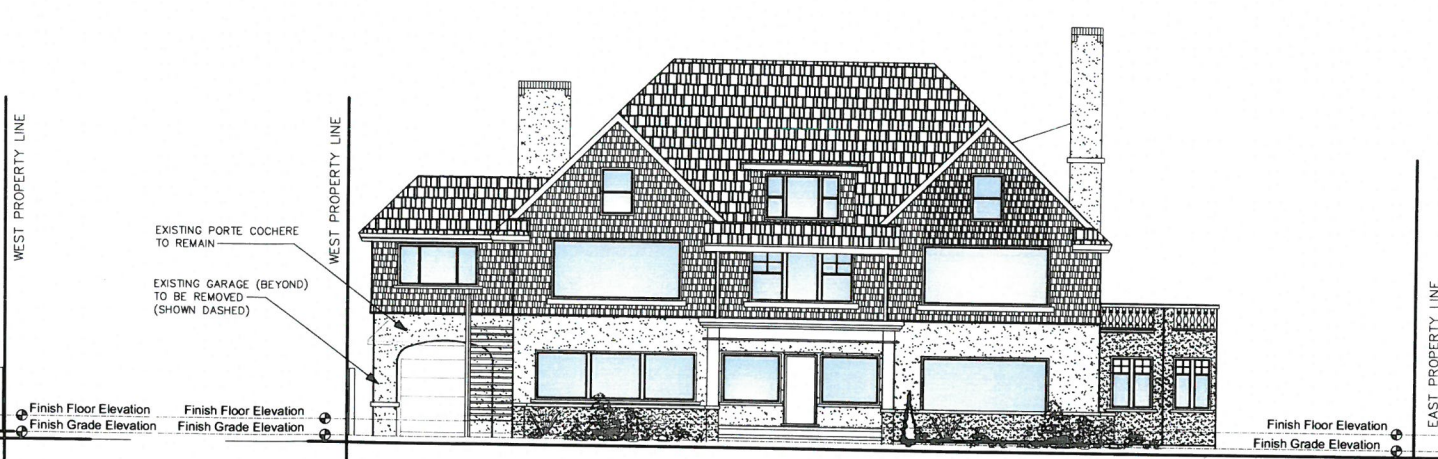


EXISTING RESIDENCE

EXISTING NORTH ELEVATION

(REAR VIEW WITH PORTE COCHERE VIEW)

SCALE: 1/8" = 1'-0"

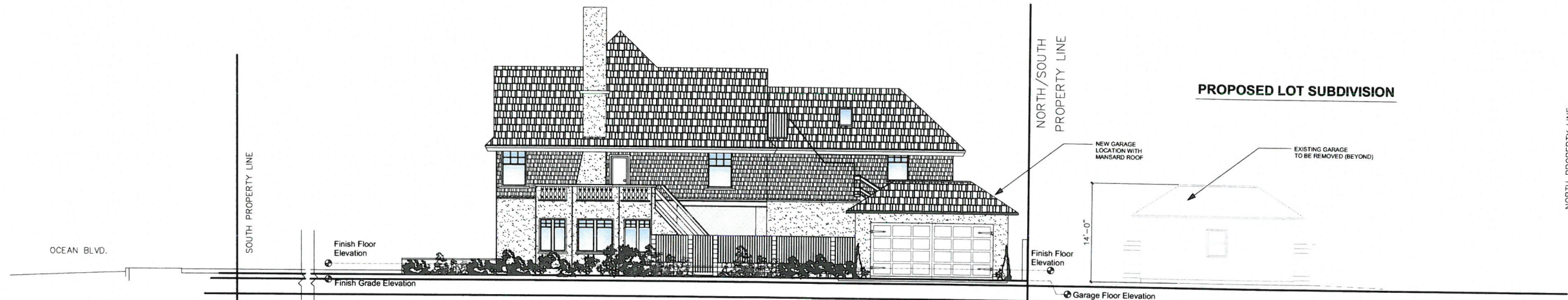


EXISTING RESIDENCE

EXISTING SOUTH ELEVATION

(FRONT ON OCEAN BLVD. WITH PORTE COCHERE VIEW)
 (VIEW OF GARAGE BEYOND SHOWN WITH STAIRS AND PORTE COCHERE, GARAGE SHOWN) WITH DASHED LINES AS IT IS NOT SEEN IN TOTAL FROM STREET)

SCALE: 1/8" = 1'-0"



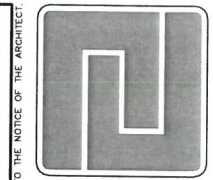
EXISTING RESIDENCE

(SHOWN WITH EXISTING AND NEW GARAGE)

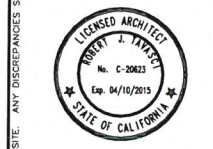
EXISTING / NEW EAST ELEVATION

(RIGHT SIDE ON PALOMA STREET WITH EXISTING AND NEW GARAGE)

SCALE: 1/8" = 1'-0"



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 PH: 562.643.1484



OWNER:
WEATHERING HEIGHTS, LLC
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 LONG BEACH, CA 90803

PROJECT:
SUBDIVISION PROJECT
 3065 OCEAN BLVD.
 LONG BEACH, CA 90803

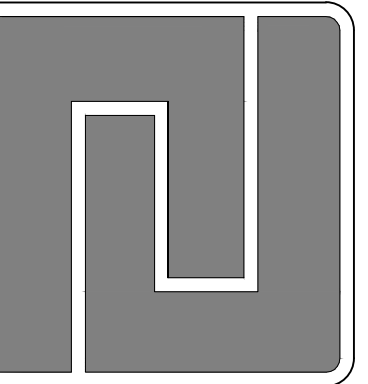
REVISIONS:

SHEET TITLE:
 EXISTING
 NORTH/SOUTH/EAST
 EXTERIOR
 ELEVATIONS

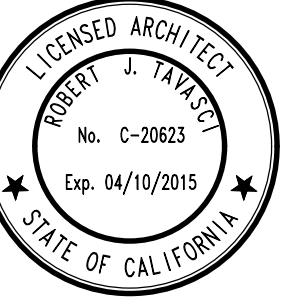
PROJECT NO: 2044-14
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FILE NAME: 3065 E OCEAN.dwg

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T-1.1

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SUBDIVISION PROJECT
3065 OCEAN BLVD.
LONG BEACH, CA 90803

REVISIONS:
23 APRIL 2019

SHEET TITLE:
EXISTING WEST EXTERIOR ELEVATION / WINDOW SCHEDULE

PROJECT NO: 2044-14
DATE: 04 APRIL 2017
DRAWN BY: RJT
SCALE: NTS
FILE NAME: 3065 E OCEAN.dwg
SHEET NO:

T-1.2



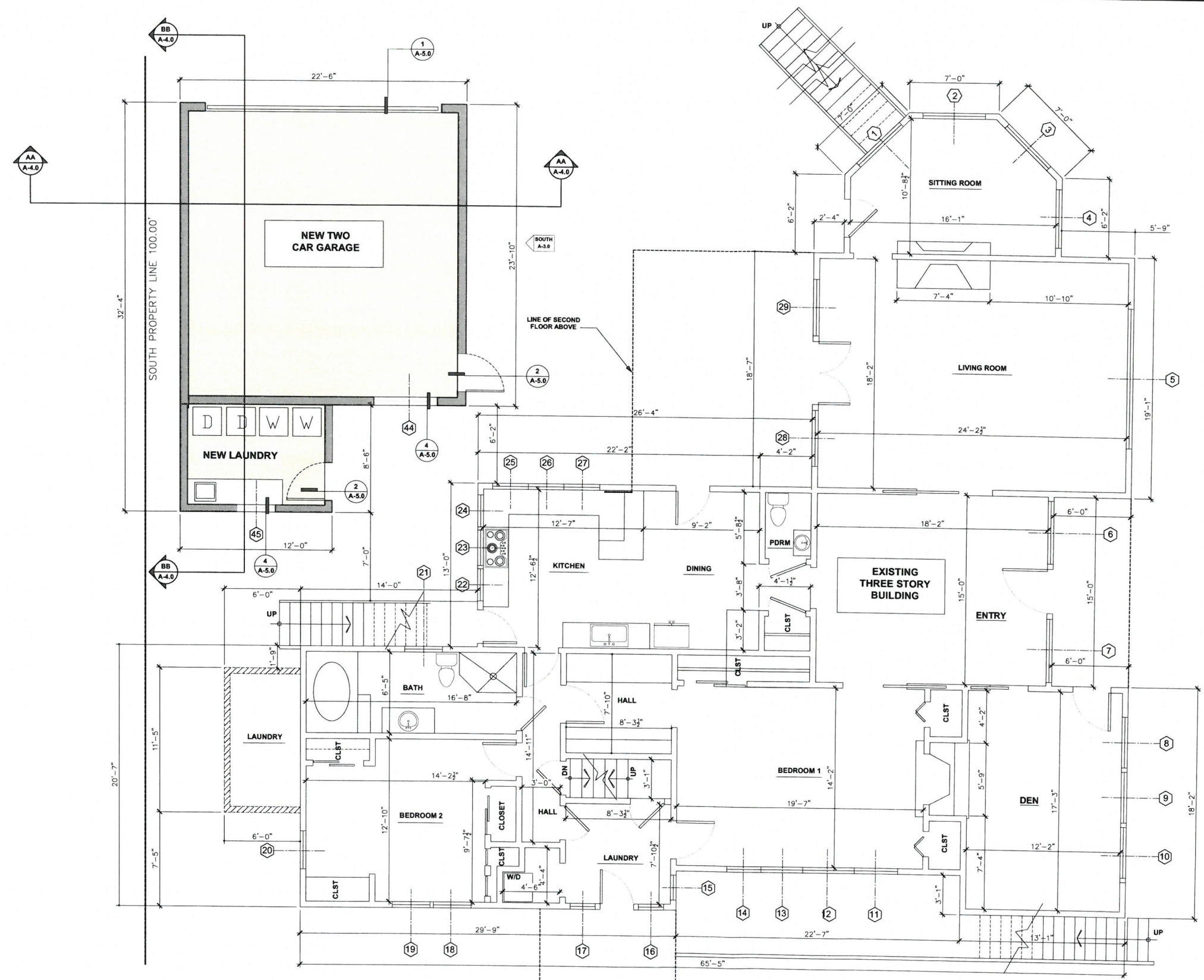
EXISTING WEST ELEVATION

(LEFT) SIDE LOOKING AT PALOMA STREET WITH EXISTING AND PORTION OF NEW GARAGE)

SCALE: 1/8" = 1'-0"

WINDOW SCHEDULE (Continued)													WINDOW SCHEDULE														
WINDOW NUMBER	WINDOW SIZE		TYPE/ OPERATION	MANUF.	GLASS TYPE	MATERIAL	COLOR	GLAZING	HEAD HT	DIMENSIONS	QNT	LOCATION	REMARKS	WINDOW NUMBER	WINDOW WIDTH	WINDOW HEIGHT	TYPE/ OPERATION	MANUF.	GLASS TYPE	MATERIAL	COLOR	GLAZING	HEAD HT	DIMENSIONS	QNT	LOCATION	REMARKS
SECOND FLOOR													1	4'-6"	5'-0"	DOUBLE HUNG	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	2'-0"X 2'-0" TOP 2'-0"X 3'-0" BOT	1	SITTING ROOM	TOP SECTION IS TRUE DIVIDED LIGHT	
30	3'-0"	4'-0"	CASEMENT	MILGARD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	CSMT - 3'-0"X4'-0"	1	BEDROOM 2		2	4'-6"	5'-0"	DOUBLE HUNG	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	2'-0"X1'-8" CSMT 4'-6"X1'-8" FIXED	1	SITTING ROOM	TOP SECTION IS TRUE DIVIDED LIGHT
31	3'-0"	4'-0"	CASEMENT	MILGARD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	CSMT - 3'-0"X4'-0"	1	BEDROOM 1		3	4'-6"	5'-0"	DOUBLE HUNG	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	2'-0"X1'-8" CSMT 4'-6"X1'-8" FIXED	1	SITTING ROOM	TOP SECTION IS TRUE DIVIDED LIGHT
32	12'-0"	6'-6"	FIXED	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	12'-0"X6'-6" FIXED	1	LIVING ROOM		4	4'-6"	5'-0"	DOUBLE HUNG	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	2'-0"X1'-8" CSMT 4'-6"X1'-8" FIXED	1	SITTING ROOM	TOP SECTION IS TRUE DIVIDED LIGHT
33	3'-0"	4'-0"	DOUBLE HUNG	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	DBL HUNG - 3'-0"X4'-0"	1	BEDROOM 1		5	12'-0"	6'-6"	FIXED	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	12'-0"X6'-6" FIXED	1	LIVING ROOM	
34	3'-0"	4'-0"	DOUBLE HUNG	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	DBL HUNG - 3'-0"X4'-0"	1	BEDROOM 1		6	5'-0"	4'-6"	FIXED	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	12'-0"X6'-6" FIXED	1	ENTRY	
35	3'-0"	4'-0"	DOUBLE HUNG	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	DBL HUNG - 3'-0"X4'-0"	1	BEDROOM 1		7	5'-0"	4'-6"	FIXED	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	12'-0"X6'-6" FIXED	1	ENTRY	
36	12'-0"	6'-6"	FIXED	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	12'-0"X6'-6" FIXED	1	LIVING ROOM		8	4'-0"	4'-0"	FIXED	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	4'-0"X4'-0" FIXED	1	DEN	
37	2'-6"	4'-0"	DOUBLE HUNG	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	DBL HUNG - 2'-6"X4'-0"	1	BATH		9	4'-0"	4'-0"	FIXED	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	4'-0"X4'-0" FIXED	1	DEN	
38	11'-0"	4'-0"	(2) SLIDERS (1) FIXED	VINYL	CLEAR	VINYL	BRN	SNGL GLAZED	7'-0"	(2) 3'-0"X4'-0" SLD (1) 5'-0"X4'-0" FXD	1	BEDROOM 2		10	4'-0"	4'-0"	FIXED	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	4'-0"X4'-0" FIXED	1	DEN	
39	2'-0"	4'-0"	DOUBLE HUNG	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	DBL HUNG - 2'-0"X4'-0"	1	CLOSET		11	3'-0"	3'-0"	FIXED	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	3'-0"X3'-0" FIXED	1	BEDROOM 1	
40	3'-0"	5'-0"	DOUBLE HUNG	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	DBL HUNG - 3'-0"X4'-0"	1	BEDROOM 4		12	3'-0"	3'-0"	CASEMENT	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	3'-0"X3'-0" CSMT	1	BEDROOM 1	
41	3'-0"	5'-0"	DOUBLE HUNG	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	DBL HUNG - 3'-0"X4'-0"	1	BEDROOM 4		13	3'-0"	3'-0"	CASEMENT	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	3'-0"X3'-0" CSMT	1	BEDROOM 1	
42	3'-0"	5'-0"	DOUBLE HUNG	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	DBL HUNG - 3'-0"X4'-0"	1	BEDROOM 3		14	3'-0"	3'-0"	CASEMENT	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	3'-0"X3'-0" CSMT	1	BEDROOM 1	
43	3'-0"	5'-0"	DOUBLE HUNG	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	DBL HUNG - 3'-0"X4'-0"	1	BEDROOM 3		15	2'-0"	5'-0"	CASEMENT	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	2'-0"X5'-0" CSMT	1	LAUNDRY	
44	3'-0"	3'-0"	DOUBLE HUNG	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	DBL HUNG - 3'-0"X3'-0"	1	KITCHEN		16	2'-0"	5'-0"	CASEMENT	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	2'-0"X5'-0" CSMT	1	LAUNDRY	
45	3'-0"	5'-0"	DOUBLE HUNG	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	DBL HUNG - 3'-0"X5'-0"	1	BEDROOM 2		17	2'-0"	5'-0"	CASEMENT	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	2'-0"X5'-0" CSMT	1	LAUNDRY	
46	3'-0"	5'-0"	DOUBLE HUNG	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	DBL HUNG - 3'-0"X5'-0"	1	BEDROOM 2		18	3'-0"	4'-0"	DOUBLE HUNG	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	3'-0"X4'-0" CSMT	1	BEDROOM 2	
THIRD FLOOR													19	3'-0"	4'-0"	DOUBLE HUNG	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	3'-0"X4'-0" DBL HUNG	1	BEDROOM 2		
47	3'-0"	4'-0"	CASEMENT	CUSTOM WOOD	CLEAR	WOOD	BRN		7'-0"	2'-6"X 4'-0" CSMT	1	BATH		20	3'-0"	4'-0"	DOUBLE HUNG	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	3'-0"X4'-0" DBL HUNG	1	BEDROOM 2	
48	3'-0"	4'-0"	CASEMENT	CUSTOM WOOD	CLEAR	WOOD	BRN		7'-0"	2'-6"X 4'-0" CSMT	1	DINING		21	3'-0"	4'-0"	DOUBLE HUNG	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	3'-0"X4'-0" DBL HUNG	1	BATH	
49	8'-0"	4'-0"	(2) 2'-0" DBL HNG (1) 3'-0" FIXED	CUSTOM WOOD	CLEAR	WOOD	BRN		7'-0"	2'-6"X 4'-0" CSMT	1	LIVING ROOM		22	2'-6"	4'-0"	DOUBLE HUNG	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	2'-6"X4'-0" DBL HUNG	1	KITCHEN	
50	3'-0"	4'-0"	CASEMENT	CUSTOM WOOD	CLEAR	WOOD	BRN		7'-0"	2'-6"X 4'-0" CSMT	1	BEDROOM 1		23	3'-6"	2'-0"	FIXED	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	3'-6"X2'-0" FIXED	1	KITCHEN	
													24	2'-6"	4'-0"	DOUBLE HUNG	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	2'-6"X4'-0" DBL HUNG	1	KITCHEN		
													25	2'-6"	4'-0"	DOUBLE HUNG	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	2'-6"X4'-0" DBL HUNG	1	KITCHEN		
													26	3'-6"	4'-0"	FIXED	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	3'-6"X4'-0" FIXED	1	KITCHEN		
													27	2'-6"	4'-0"	DOUBLE HUNG	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	2'-6"X4'-0" DBL HUNG	1	KITCHEN		
													28	4'-6"	5'-0"	DOUBLE HUNG	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	2'-0"X 2'-0" TOP 2'-0"X 3'-0" BOT	1	LIVING ROOM		
													29	4'-6"	5'-0"	DOUBLE HUNG	CUSTOM WOOD	CLEAR	WOOD	BRN	SNGL GLAZED	7'-0"	2'-0"X 2'-0" TOP 2'-0"X 3'-0" BOT	1	LIVING ROOM		

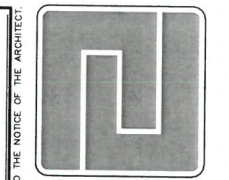
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EXISTING FIRST FLOOR PLAN

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SECOND FLOOR.....	2,822.86 SQ. FT.
THIRD FLOOR.....	1,779.92 SQ. FT.
	7,092.75 SQ. FT.
GARAGE ADDITION.....	536.25 SQ. FT.
LAUNDRY ADDITION.....	103.65 SQ. FT.

- WALL LEGEND**
- EXISTING 2x WOOD FRAMED WALL W/ NEW PLASTER OR 7/8" STUCCO FINISH O/LATH AT EXTERIOR WALLS AND NEW 5/8" GYP. BD. AT INTERIOR. REFER TO ELEVATIONS FOR ADDITIONAL COMMENTS.
 - EXISTING 2x WOOD FRAMED WALL W/ NEW PLASTER OR 7/8" STUCCO FINISH O/LATH AT EXTERIOR WALLS TO BE REMOVED



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REVISIONS:

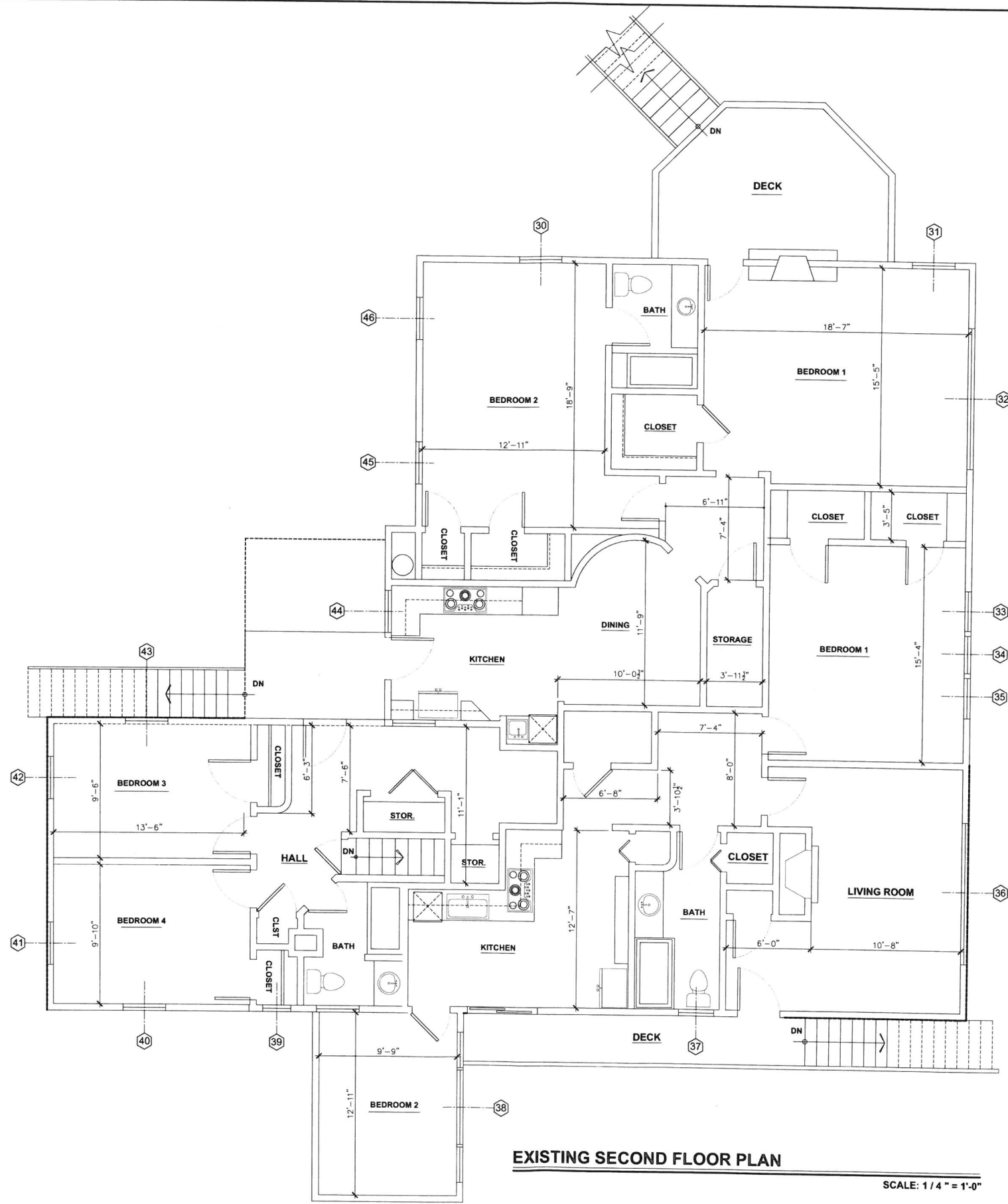
NO.	DESCRIPTION

SHEET TITLE:
EXISTING FIRST FLOOR PLAN W/ NEW GARAGE

PROJECT NO: 2045-15
DATE: 26 JULY 2018
DRAWN BY: RJT
SCALE: AS NOTED
FILE: 3065 OCEAN FLR PLAN SUBDIVISION
SHEET NO.

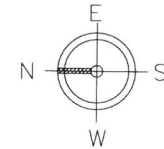
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EXISTING SECOND FLOOR PLAN

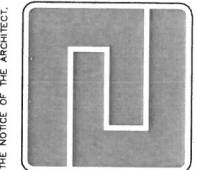
SCALE: 1/4" = 1'-0"



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SECOND FLOOR.....	2,822.86 SQ. FT.
THIRD FLOOR.....	1,779.92 SQ. FT.
	7,092.75 SQ. FT.
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LAUNDRY ADDITION.....	183.65 SQ. FT.

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- EXISTING 2x WOOD FRAMED WALL W. NEW PLASTER OR 7/8" STUCCO FINISH O/ LATH AT EXTERIOR WALLS AND NEW 5/8" GYP. BD. AT INTERIOR. REFER TO ELEVATIONS FOR ADDITIONAL COMMENTS.
 - EXISTING 2x WOOD FRAMED WALL W. NEW PLASTER OR 7/8" STUCCO FINISH O/ LATH AT EXTERIOR WALLS TO BE REMOVED.



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OWNER:
WEATHERING HEIGHTS, LLC
LONG BEACH, CA 90803

PROJECT:
SUBDIVISION PROJECT
3065 OCEAN BLVD.
LONG BEACH, CA 90803

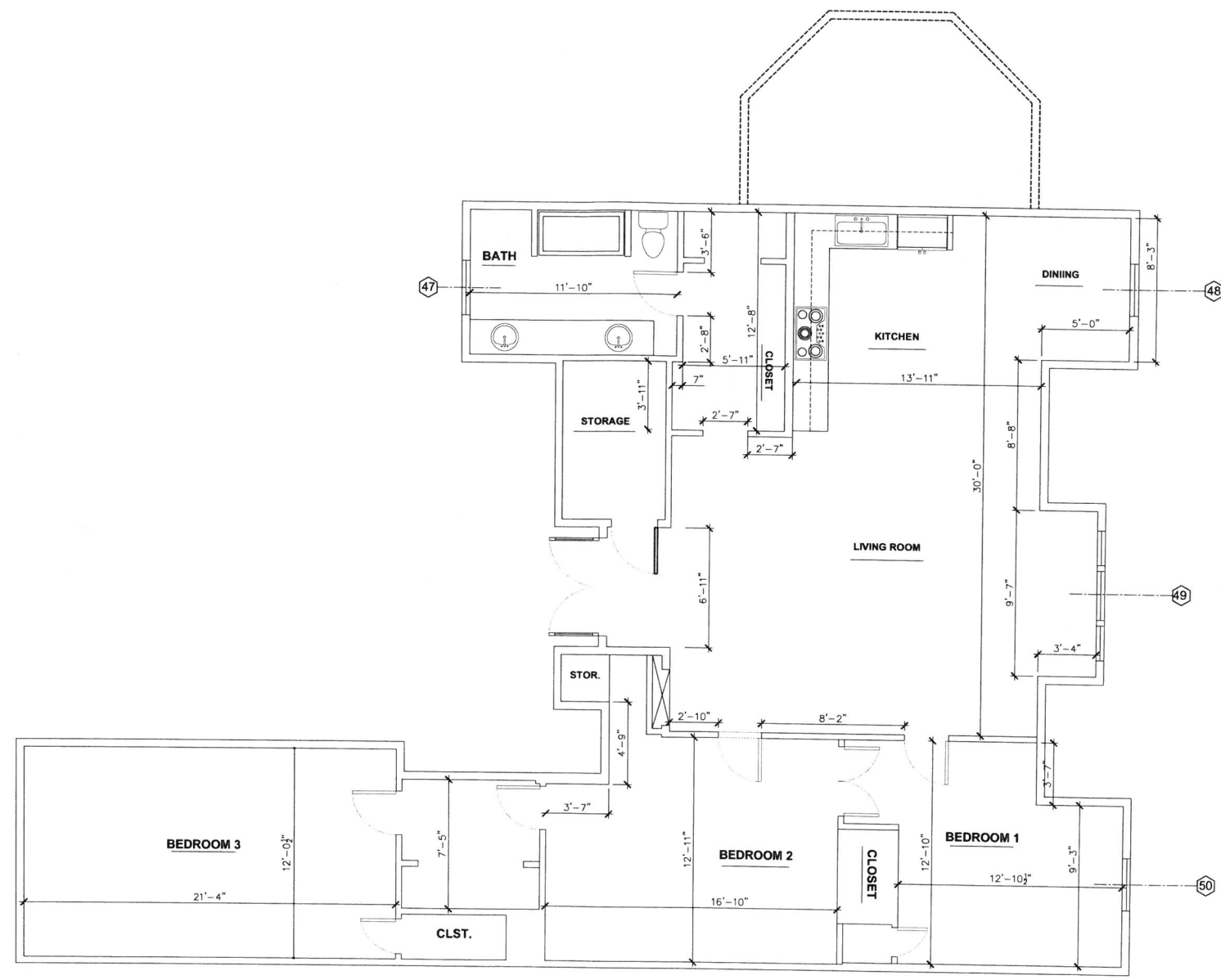
REVISIONS:

SHEET TITLE:
EXISTING SECOND FLOOR PLAN

PROJECT NO: 2045-15
DATE: 26 JULY 2018
DRAWN BY: RJT
SCALE: AS NOTED
FILE: 3065 OCEAN FLR PLANS SUBDIVISION

SHEET NO.
A-1.1

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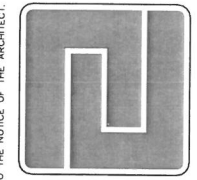
EXISTING THIRD FLOOR PLAN

SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE CALCULATIONS	
FIRST FLOOR.....	2,491.97 SQ. FT.
SECOND FLOOR.....	2,822.86 SQ. FT.
THIRD FLOOR.....	1,779.92 SQ. FT.
	7,092.75 SQ. FT.
GARAGE ADDITION.....	536.25 SQ. FT.
LAUNDRY ADDITION.....	103.65 SQ. FT.

WALL LEGEND

EXISTING 2x WOOD FRAMED WALL W/ NEW PLASTER OR 7/8" STUCCO FINISH OR LATH AT EXTERIOR WALLS AND NEW 5/8" GYP. BD. AT INTERIOR. REFER TO ELEVATIONS FOR ADDITIONAL COMMENTS.



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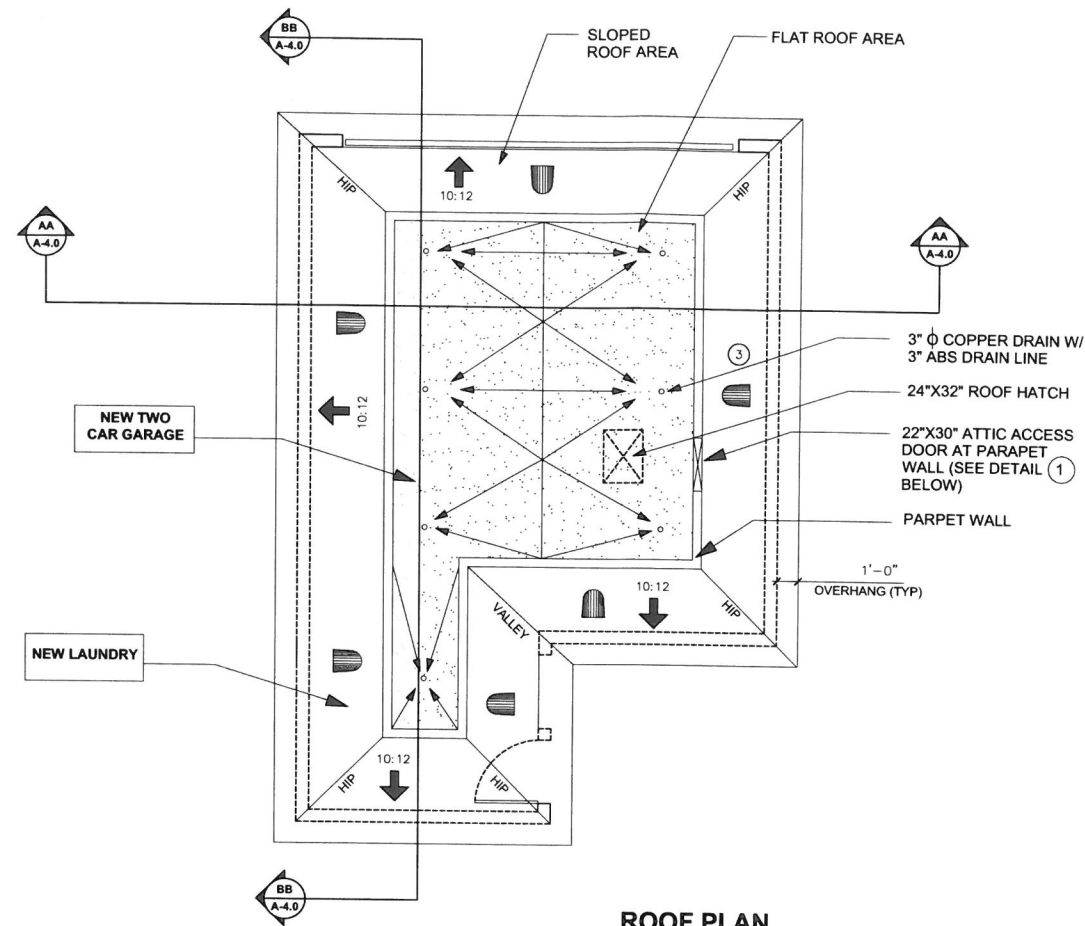
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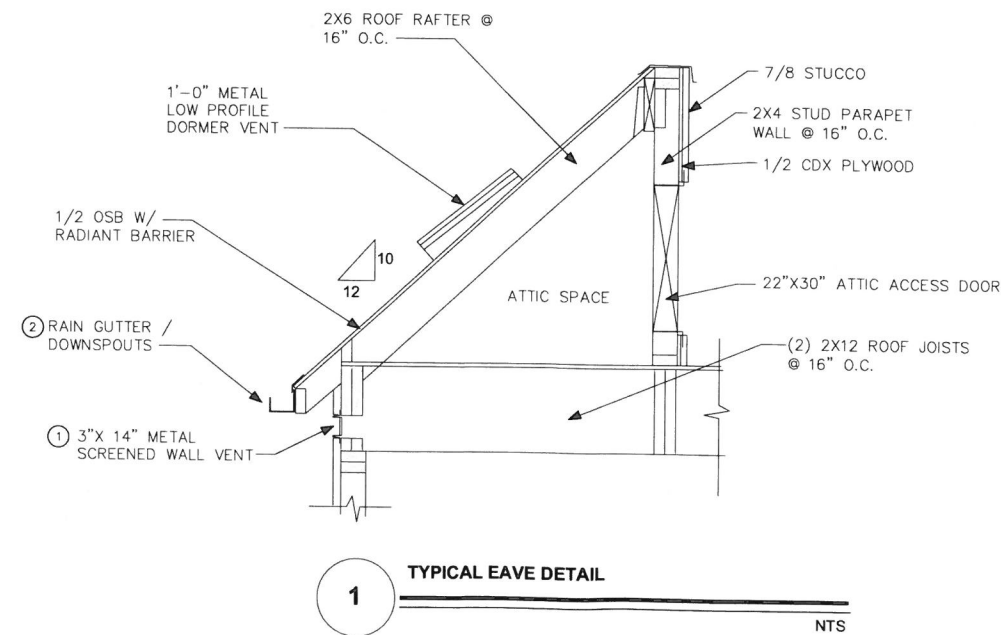
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ROOF PLAN

SCALE: 1/4" = 1'-0"



1 TYPICAL EAVE DETAIL

NTS

ROOF NOTES:
(SEE ROOF SPECIFICATIONS ON SHEET A-2.1)

SHINGLE ROOFING SHALL BE:
GAF "TIMBERLINE" GRAND SEQUOIA
REFLECTOR SERIES CLASS A
ASPHALT SHINGLES
ROOF COLOR:
WEATHERED WOOD

ROOF NOTES:
(SEE ROOF SPECIFICATIONS ON SHEET A-2.1)

FLAT ROOF SHALL BE:
SARNAFIL G410 ENERGYSMART ROOF MEMBRANE
ROOF TYPE:
(WHITE)
INITIAL REFLECTIVITY: _____ 0.83
3 YEAR SOLAR REFLECTANCE: _____ 0.70
INITIAL THERMAL EMITTANCE: _____ 0.90
3 YEAR THERMAL EMITTANCE: _____ 0.86
INITIAL SOLAR REFLECTIVE INDEX: _____ 104
3 YEAR SOLAR REFLECTANCE INDEX: _____ 85

ROOF NOTES:

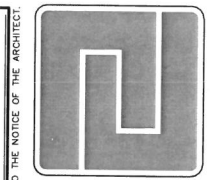
- ROOFING:**
"TIMBERLINE" PRESIDENTIAL STYLE ROOF SHINGLE -
COLOR TBS FOR SLOPED ROOF AREA
SARNAFIL WATERPROOF MEMBRANE ROOFING SYSTEM O/
3/4 T&G PLYWOOD
- ATTIC VENTILATION:**
PROVIDE REQUIRED ATTIC VENTILATION IN ALL ATTIC AREAS
- 1,785 SQ. FT. OF ATTIC AREA X 1/150 = 11.90 SQ. FT. REQUIRED
50% OF VENTILATION PROVIDED BY DORMER VENTS, 3' ABOVE
EAVE. (6 ROOF DORMER VENTS REQUIRED = 9.00 SQ.FT. > 5.95 SQ. FT.)
- 50% OF VENTILATION PROVIDED BY EAVE VENTS, 21 VENTS - 3" X 16"
.33 SQ. FT. PER VENT. REQUIRED = 5.95 SQ.F. 7 SQ. FT. PROVIDED
> 5.95 SQ. FT. WHICH EXCEEDS REQUIREMENT.
- INSULATION:**
PROVIDE AND INSTALL R-38 BATT INSULATION IN ANY NEW ATTIC
SPACES AND R-15 IN 2X4 STUD WALL SPACES / R-19 IN 2X6
STUD WALL SPACES AND IN RAISED FLOOR AREA, IF APPLICABLE.
AND ROOF SHEATHING
A MINIMUM OF 1 INCH AIR SPACE SHALL BE PROVIDED BETWEEN INSULATION
- ROOF DIAPHRAGM:**
USE 1/2" CDX PLYWOOD, PANEL INDEX (24/0) , WITH 10d NAIL
AT 6" O.C. SUPPORTED EDGES, BOUNDARIES & @ 12" O.C. FIELD
(BLOCKED DIAPH. U.O.N.)
ROOF DIAPHRAGM NAILING TO BE INSPECTED BEFORE COVERING.
FACE GRAIN OF PLYWOOD SHALL BE PERPENDICULAR TO
SUPPORTS. (SEE SCHEDULE ON FRAMING PLAN)
- CHIMNEYS:**
CHIMNEYS SHAL HAVE SPARK ARRESTERS W/ 1/2" MAX. SCREEN
OPENINGS. CHIMNEYS SHALL EXTEND 2' ABOVE ROOF OR WALL
WITHIN 10 FEET.
- SKYLIGHTS:**
ALL NEW SKYLIGHTS SHALL BE VELUX SKY-LIGHTS WITH TYPE "L"
FLASHING , FLAT DOUBLE CLEAR TEMPERED GLASS OR EQUAL.
REFER TO SCHEDULES FOR ADDITIONAL NOTES.

ROOF PLAN KEY NOTES:

- 3" X 14" METAL SCREENED WALL VENT
- METAL RAIN GUTTERS - SQUARE DESIGN WITH COPPER
ANCHORS AND DOWNSPOUT LEADER HEADS WITH
SURFACE MOUNTED DOWNSPOUTS AND BRACKETS - TYP.
TO MATCH
ROOF COLOR AND DESIGN
- 1'-0" DORMER VENT PROVIDES
1.5 SQ. FT. OF VENTILATION -
11 TOTAL X 2.0 = 22.00 SQ. FT.

GENERAL NOTES:

- CONTRACTOR SHALL CONFIRM THAT ALL
AREAS OF ROOF ARE PROVIDED WITH
POSITIVE DRAINAGE
- ROOF PENETRATIONS SHALL BE FLASHED
PER BUILDING SPECIFICATIONS
- CONTRACTOR SHALL BE RESPONSIBLE FOR
COORDINATION OF SIZES AND LOCATIONS OF
ROOF OPENINGS, PLATFORMS, BASES,
LIGHTING, POWER, CONVENIENCE OUTLETS,
ETC., WITH EQUIPMENT BEING SUPPLIED
- ALL ROOFING MATERIALS TO BE INTALLED AS
PER MANUFACTURER'S RECCOMENDATIONS
AND SPECIFICATIONS.



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REVISIONS:


SHEET TITLE:
GARAGE / LAUNDRY
ROOF PLAN

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DRAWN BY: RJT
SCALE: AS NOTED
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SHEET NO.
A-2.0

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ROOFING SHINGLE SPECIFICATIONS



Most Widely Accepted and Trusted

ICC-ES Evaluation Report ESR-3267




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Revised 12/2017
This report is subject to renewal 12/2018.

DIVISION: 07 00 00—THERMAL AND MOISTURE PROTECTION
SECTION: 07 31 13—ASPHALT SHINGLES

REPORT HOLDER:
GAF
1 CAMPUS DRIVE
PARISPAPPY, NEW JERSEY 07054


EVALUATION SUBJECT:
GAF SHINGLE ROOF COVERING SYSTEMS

Look for the trusted marks of Conformity!


2014 Recipient of Prestigious Western States Seismic Policy Council (WSSPC) Award in Excellence

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ROOFING MEMBRANE SPECIFICATIONS



SARNAFIL® G410 ENERGYSMART ROOF® MEMBRANE

48_60_72_80_FELTBACK

PRODUCT INFORMATION

USES
Sarnafil G410 EnergySmart Roof Membrane is used in adhered applications with various adhesives, over various substrates.

AREAS OF APPLICATION

- New Roofs
- Reroofs
- Flashings

FEATURES / BENEFITS

- Excellent dimensional stability
- Factory applied lacquer coating to reduce dirt pick up
- Hot air welded seams for long term performance
- Proven membrane performance
- Guaranteed thickness
- Highly reflective

TESTS

CODES / APPROVALS

- FM Global
- Underwriters Laboratories
- Underwriters Laboratories of Canada
- Miami-Dade County / Florida Building Code
- ENERGY STAR®
- California Title 24
- LEED / Green Globes
- NSF/ANSI 347 Platinum Certified

PRODUCT DATA FORM

COMPOSITION
High quality, PVC membrane containing ultraviolet light stabilizers, flame retardant and fiberglass reinforcement with a unique lacquer coating on the top surface.

COLOR

- Top: White, Tan, and Reflective Gray
- Bottom: Gray

PACKAGING

- 48 mil (1.2 mm) Membrane*
 - 30 ft x 150 ft rolls, 464 lbs per roll, 8 rolls per pallet
 - 5 ft x 150 ft rolls, 232 lbs per roll, 12 rolls per pallet
 - 30 ft x 100 ft feltback rolls, 363 lbs per roll, 8 rolls per pallet
 - * Made to order, minimum volume required, extended production lead times, speak with Sales - Roofing Sales Rep for further info.
- 60 mil (1.5 mm) Membrane
 - 30 ft x 100 ft rolls, 391 lbs per roll, 8 rolls per pallet
 - 5 ft x 100 ft rolls, 195 lbs per roll, 12 rolls per pallet
 - 30 ft x 80 ft feltback rolls, 354 lbs per roll, 8 rolls per pallet
 - 8 in x 100 ft rolls, 25 lbs per roll (Coverstrip)
- 72 / 80 mil (1.8 / 2.0 mm) Membrane
 - 30 ft x 100 ft rolls, 471 / 520 lbs per roll, 8 rolls per pallet
 - 5 ft x 100 ft rolls, 239 / 260 lbs per roll, 8 rolls per pallet
 - 30 ft x 50 ft feltback rolls, 242 / 287 lbs per roll, 10 rolls per pallet
 - 30 ft x 80 ft feltback rolls, 419 / 460 lbs per roll, 8 rolls per pallet

STORAGE

Store rolls on pallets and fully protected from the weather with clean, clean tarpaulins. Unvented polyethylene tarpaulins are not accepted due to the accumulation of moisture beneath the tarpaulin in certain weather conditions that may affect the ease of membrane installation.

TECHNICAL DATA

Property	TYPICAL PHYSICAL PROPERTIES*		Typical Results				
	ASTM Test Method	ASTM Type II D-4434 Spec. Requirement	48	60	72	80	
Overall Thickness, mil	D751	45	48	60	72	80	
Thickness Over Seam, mil		85	77	77	75	40	
Manufacturing Material			Fiberglass				
Felt Weight, lb/yd² (feltback membrane only)			9	9	9	9	
Breaking Strength, lb/in (N)	D751	55 (241)	60 (267)	80 (363)	100 (445)	110 (489)	
Elongation at Break, % (M.D. & C.M.D.)	D751	250 & 220	250 & 220	250 & 220	250 & 220	250 & 220	
Seam Strength, % of original	D751	75	Pass	Pass	Pass	Pass	
Retention of Properties After Heat Aging	D3045						
Tensile Strength, % of original	D751	90	Pass	Pass	Pass	Pass	
Elongation, % of original	D751	90	Pass	Pass	Pass	Pass	
Tearing Resistance, lb/in (N)	D1004	30 (45)	35 (47)	17.5 (78)	20.5 (91)	22 (98)	
Low Temperature Bend, 40°F (4°C)	D2136	Pass	Pass	Pass	Pass	Pass	
Accelerated Weathering Test, Hours (Fluorescent Light UV exposure)	G154	5,000	10,000	10,000	10,000	10,000	
Cracking (7x magnification)		None	None	None	None	None	
Discoloration (by observation)		Negligible	Negligible	Negligible	Negligible	Negligible	
Cracking (7x magnification)		None	None	None	None	None	
Linear Dimensional Change, %	D1364	0.1	0.03	0.03	0.01	0.01	
Weight Change After Immersion, % Water, %	D570	1.3	0.7	1.9	1.8	1.7	

10/26/2015

PRODUCT INFORMATION SHEET
Grand Sequoia® IR Shingles
Get Further Insurance Savings And Extra Protection For Your Most Valuable Asset!



PRODUCT INFORMATION

"Grand Sequoia® IR Shingles combine the look of rugged wood shingles with the protection of an impact resistant shingle"

- Grand Sequoia® IR Shingles** . . . Provide an excellent combination of protection, beauty, and potential insurance savings for your home.
- Potential Insurance Savings** . . . Passes the UL 2218 Class 4 Impact Test, and may qualify for insurance discounts.† Each shingle is labeled with special information needed to qualify for premium discounts according to the requirements of the Texas Department of Insurance.
- Excellent Wind Performance** . . . Meets ASTM D3181, Class F and ASTM 7158, Class H — the highest wind ratings possible under these test methods.
- Slays In Place** . . . Duro Grip™ Adhesive seals each shingle tightly and reduces the risk of shingle blow-off. Shingles are warranted to withstand maximum wind gusts of up to 130 mph (209 km/h)!†
- Impact Resistant** . . . Passes UL 2218 Class 4 UL's toughest impact test (shingles show no evidence of cracks or ruptures on front or back of shingle immediately after impact)† Compared to "standard" shingles, which may have ruptures or cracks visible on the front or back of the shingle immediately after large hail impact.
- Exceptional Protection** . . . Design includes an SBS modified asphalt formula for rubber-like flexibility and enhanced impact resistance.
- High Performance** . . . Designed with Advanced Protection™ Shingle Technology, which reduces the use of natural resources while providing excellent protection (yet still get coverage to learn more).
- Highest Fire Rating** . . . Class A fire rating from Underwriters Laboratories.
- Peace Of Mind** . . . Lifetime 50-year transferable warranty with Smart Choice® Protection (non-prorated material and installation labor coverage) for the first ten years†.
- Ridge Cap Shingles** . . . Use our Seal-A-Ridge™ IR, UL 2218 Class 4 Ridge Cap Shingles. They're a unique color match to GAF Impact Resistant Shingles.
- Note:** Always use complementary color GAF Starter/Finish™ Starter/Finish Shingles when installing Grand Sequoia® IR Shingles.

Insurance discounts may not be available in your area. Where available, insurance discounts may vary. Contact your insurance provider for information. †This and other coverage require special installation. See GAF Shingles & Accessories (GAF) Warranty for details. †UL's warranty does not cover hail damage even for shingles that pass the test. †See GAF Shingles & Accessories (GAF) Warranty for complete coverage and restrictions. †The word "lifetime" refers to the length of coverage provided by the GAF Shingles & Accessories (GAF) Warranty and means as long as the original individual shingle(s) or a corresponding sheet material (in the second warranty) is in service. (Manufactured) See the warranty where the shingles are installed. For construction details meeting the above claims, a lifetime coverage is not applicable.

COLORS/AVAILABILITY

- COLORS:** Arctic Sunset, Charcoal, Dusky Gray, and Weathered Wood.
- REGIONAL AVAILABILITY:** Central and Southwest Areas, and in the following states in the West: MI, WY, CO, and NM.

Available by special order only in Northeast, Southeast, and Western States not listed above.

10/26/2015

APPLICABLE STANDARDS & PROTOCOLS

- UL 790, Class A
- Miami Dade County Product Control Approved 13-1104.10
- Florida Building Code Approved F1,1012-R12
- UL 997 modified to 110 mph
- ASTM D7158, Class F
- ASTM D3181, Class H
- ASTM D3018, Type I
- ASTM D3042
- ICC ESR-1475, ESR-3267†
- Texas Department of Insurance
- CSA A123.5
- UL 2218 (Fall) — Class 4

Effective 7/1/08, existing NYC MSA's may be used but are no longer required.

†Obtained ESR 3267 evaluation from ICC Evaluation Service based on compliance with the requirements of AC408, an acceptance criteria established by ICC Evaluation Service, to evaluate impact resistant shingles that contain performance tests in addition to those required by the building code. ICC Evaluation Service provides technical evaluation of building products that directly address the scope of such compliance. Building inspectors use these evaluation reports to help determine code compliance and enforce building regulations.

PRODUCT/SYSTEM SPECIFICS:

- Fiberglass Asphalt Construction
- Dimensions (approx.) 17' x 40' (432 x 1016 mm)
- Exposure: 5' (152 mm)
- Bundles/Square: 4
- Pieces/Square: 72
- Nails/Square: 360 (432 where 6 nails per shingle is required)†
- Starter/Finish Protection: Yes
- Hip/Ridge Seal: A Ridge™ IR
- Starter/WeatherBlocker™ & Starter/Match™

†These are complete published installation instructions. †Required by some local codes and required for enhanced wind coverage on certain products.

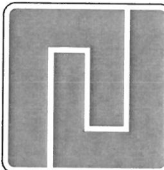
INSTALLATION

Detailed installation instructions are provided on the inside of each bundle wrapper of Grand Sequoia® IR Shingles. Installation instructions may also be obtained at www.gaf.com.

This drawing illustrates the roof assembly details for the Sarnafil G410 EnergySmart Roof Membrane. It shows the membrane being applied over a substrate, with various layers and components labeled. The drawing includes details for the membrane, adhesive, and the underlying structure, showing how the membrane is installed over the substrate and how it is secured with adhesive.

Roofing Notes:

- CLASS "A" COMPOSITION HIGH QUALITY, "SARNAFIL" G410 PVC ROOF MEMBRANE - LARR # 24882
- ALL NEW CRICKETS SHALL SLOPE MINIMUM 2" PER FOOT.
- PARAPET DIMENSIONS ARE SHOWN FROM FACE OF FINISH UNO.
- G.C. TO VERIFY ALL DIMENSIONS AND CONTACT ARCHITECT IF ANY DISCREPANCIES EXIST, PRIOR TO COMMENCING WORK.
- G.C. TO ASSURE ROOF INSTALLATION AND ALL PENETRATIONS TO BE FULLY WEATHERTIGHT.
- ROOFING TO COMPLY WITH UBC STANDARDS 15-4 AND SHALL BE INSTALLED IN ACCORDANCE WITH TABLE 15-B-2. (R902.1)
- INSTALLED ROOFING OVER MINIMUM 3/8" UNDERLAYMENT.
- ALL MATERIALS AND DESIGN OF ROOFING MATERIALS AND THEIR FASTENING DEVICES SHALL CONFORM TO THE APPLICABLE STANDARDS LISTED IN CHAPTER 16, PART 1 (1507.1)
- ALL MATERIALS SHALL BE DELIVERED IN PACKAGES BEARING THE MANUFACTURERS LABEL OR IDENTIFYING MARK.
- THE ROOFING INSTALLER SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE WEATHERPROOF INSTALLATION INCLUDING ALL NECESSARY FLASHING, CAPS, PIPE JACKS, OPENING PROTECTION AND SEALANTS. ALL ROOFING SHALL COMPLY WITH MRCA STANDARDS AND UBC CHAPTER 13.
- VERIFY THAT ALL AREAS HAVE A POSITIVE 1/4" PER FOOT MIN. ROOF DRAINAGE PRIOR TO INSTALLATION.
- DOWNSPOUTS ARE SIZED EITHER FOR UPC CODE AVERAGE 6" HOUR RAINFALL OR MINIMUM 8" INTERIOR DIA. - WHICHEVER IS GREATER.
- PROVIDE PLYWOOD OR FELT CRICKETS AS REQUIRED TO MAINTAIN 1/4" PER FOOT DRAINAGE AT EQUIPMENT PADS AND ROOF HATCH.
- INSTALL ROOFING MATERIAL AS SOON AS POSSIBLE AFTER INSTALLATION OF METAL ROOF DECK TO MINIMIZE EXPOSURE OF THE DECK TO MOISTURE SOURCES.
- ALL EXPOSED ROOF METAL AND VENTS SHALL BE PRIMED AND PREPARED FOR PAINT FINISH. PAINT SHALL MATCH EXTERIOR WALL COLOR PER EXTERIOR FINISH SCHEDULE.
- ALL ANY ROOF PENETRATIONS SHALL BE MINIMUM 18" AWAY FROM AIR CONDITIONING UNITS AND A MINIMUM 18" FROM OTHER PENETRATIONS.
- VENTS THROUGH ROOF SHALL BE INSTALLED 10" FROM A TERMINATED 3"Ø ABOVE ANY FRESH AIR INTAKES.
- OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPED OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION.
- CONTRACTOR SHALL VERIFY THAT ALL GAS LINES CONDENSATION AND CONDUIT LINES SHALL NOT EXTEND ABOVE ROOF SURFACES.
- LEAD FLASHING SHALL BE USED AT ALL ROOF AND OVERFLOW DRAIN PENETRATIONS.
- MATERIAL USED FOR ROOF SHEATHING - WOOD STRUCTURAL PANELS USED FOR ROOF SHEATHING SHALL BE BONDED BY INTERMEDIATE OR EXTERIOR GLUE. (IBC 2300.12.9)
- THE ROOF SHEATHING SHALL INCLUDE A RADIANB BARRIER.



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Professional Seal of Robert J. Tavasci, Licensed Architect, State of California, No. C-20623, Exp. 04/10/2015.

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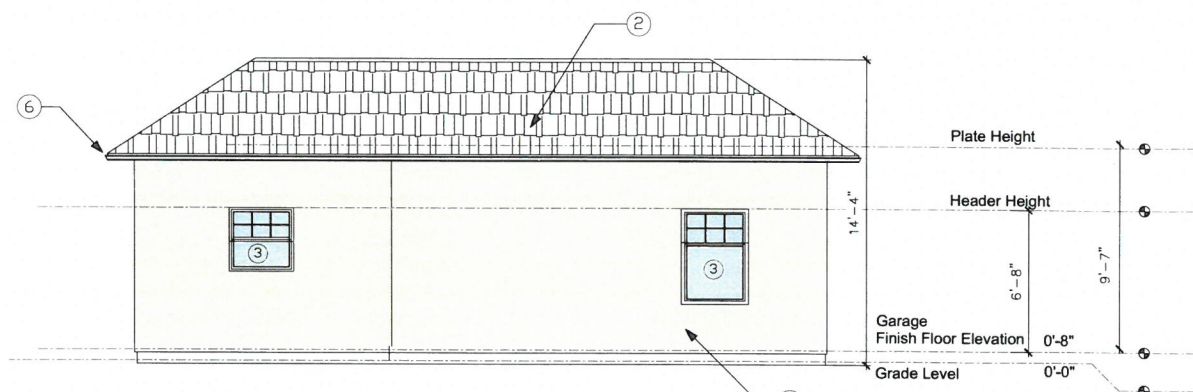
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SHEET TITLE:
ROOF SPECIFICATIONS

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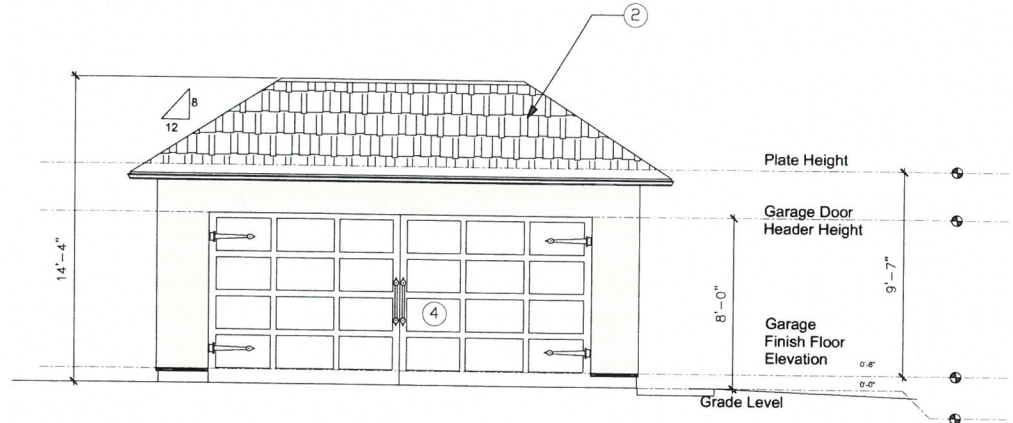
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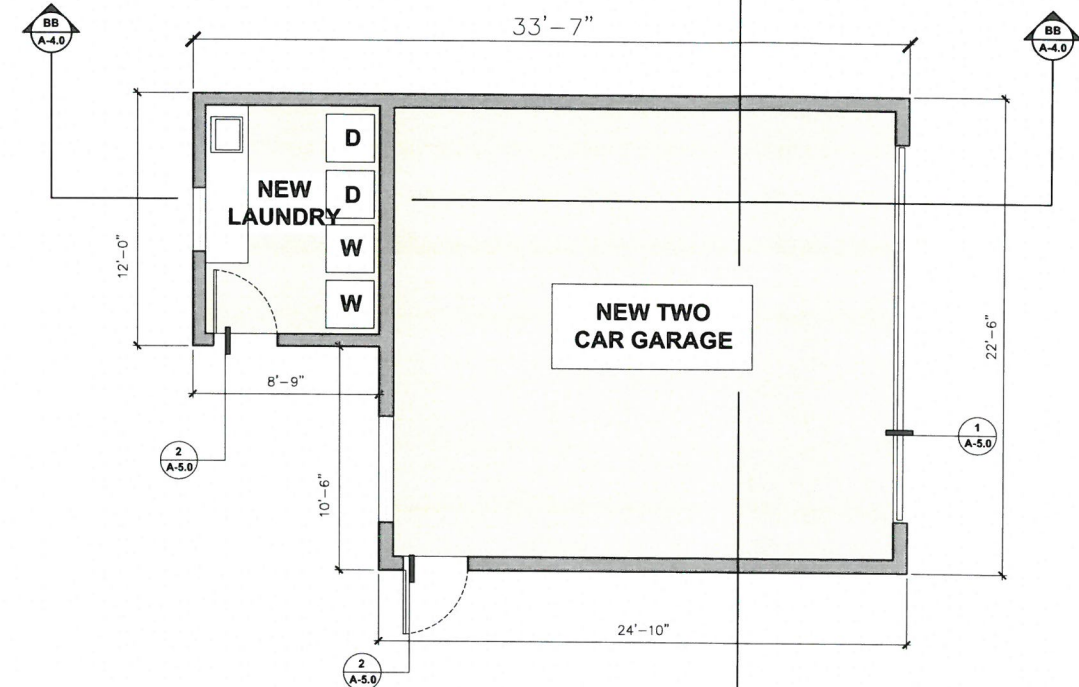
(N) WEST ELEVATION

SCALE: 1/4" = 1'-0"



(N) EAST ELEVATION

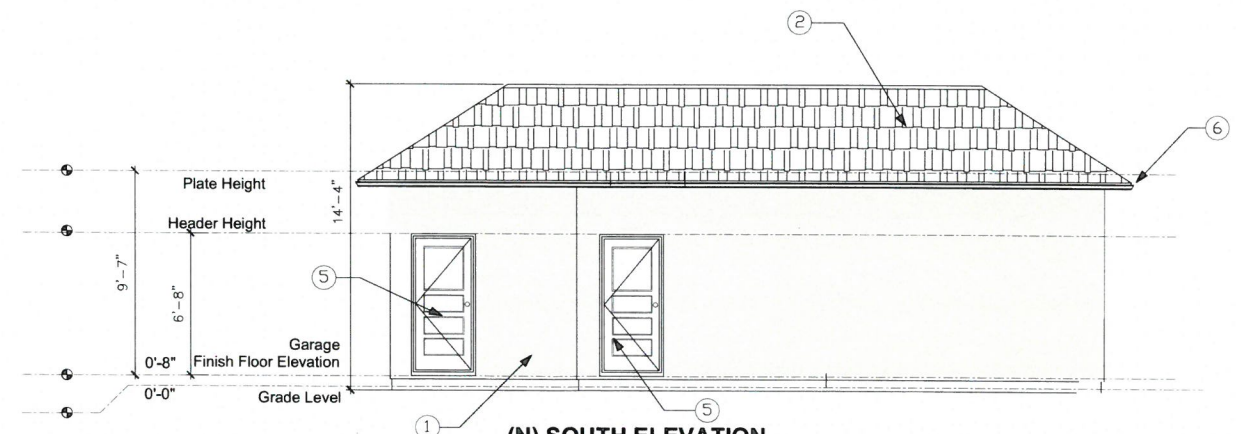
SCALE: 1/4" = 1'-0"



(N) GARAGE FLOOR PLAN

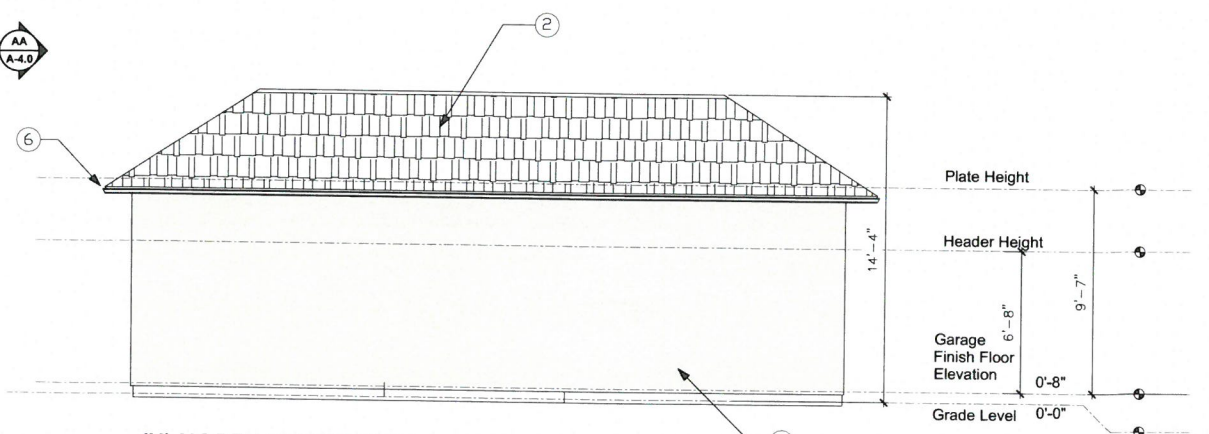
ELEVATION KEYNOTES

- ① STUCCO BASE
7/8" STUCCO O/ LATH ; 20/30 SMOOTH FINISH
COLDR: TBD
- ② ROOF
"TIMBERLINE" PRESIDENTIAL SHINGLE
COLDR: TBD
- ③ WOOD WINDOWS
LAUNDRY - 3'-0"x3'-0" DOUBLE HUNG WINDOW W/
TRUE DIVIDED LIGHT AT UPPER SECTION
GARAGE - 3'-0"x4'-6" DOUBLE HUNG WITH
TRUE DIVIDED LIGHT AT UPPER SECTION
- ④ WOOD SECTIONAL GARAGE DOOR
W/ OPENER
18'-0" x 8'-0" "VICTORIAN/SHINGLE STYLE"
PANELS W/ STRAP HINGES AND HANDLES
- ⑤ SWINGING DOORS
SWINGING SOLID CORE EXTERIOR DOOR
VICTORIAN / SHINGLE STYLE STICKING
- ⑥ FASCIA BD.
2X6 FASCIA - WITH GUTTERS



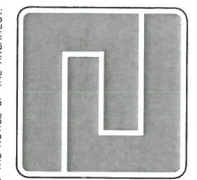
(N) SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



(N) NORTH ELEVATION

SCALE: 1/4" = 1'-0"



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LONG BEACH, CA 90803

REVISIONS:

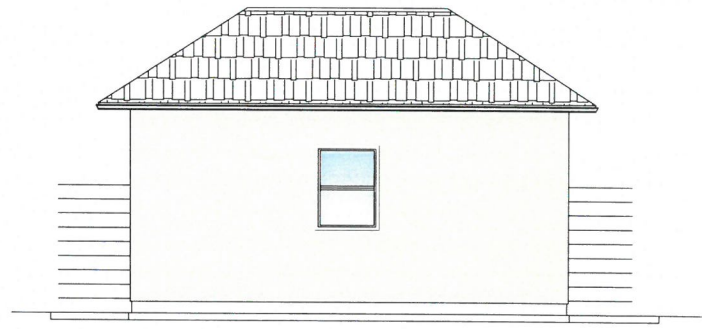
SHEET TITLE:

**NEW GARAGE FLOOR
PLAN / EXTERIOR
ELEVATIONS**

PROJECT NO: 2045-15
DATE: 26 JULY 2018
DRAWN BY: RJT
SCALE: AS NOTED
FILE: 2045 OCEAN FLR PLANS-SUBDIVISION

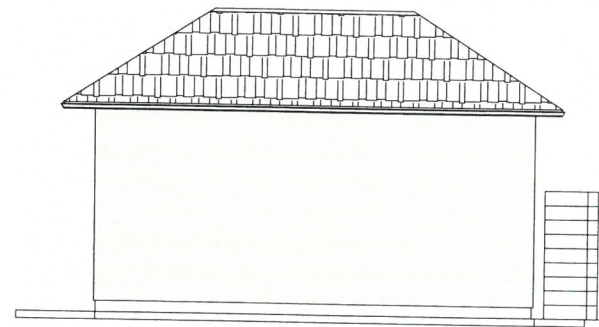
SHEET NO.
A-3.0

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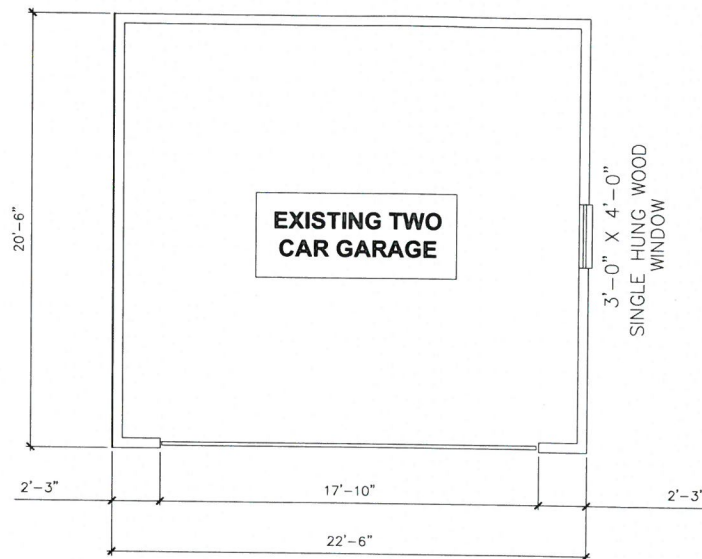
(E) EAST ELEVATION

SCALE: 1/4" = 1'-0"



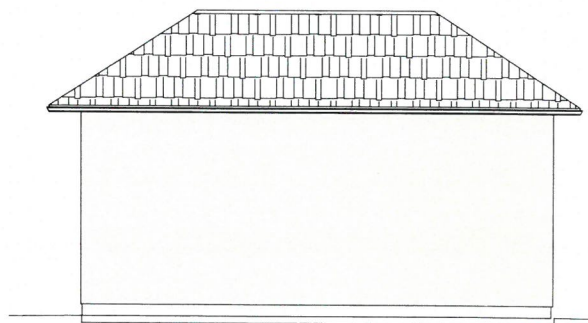
(E) NORTH ELEVATION

SCALE: 1/4" = 1'-0"



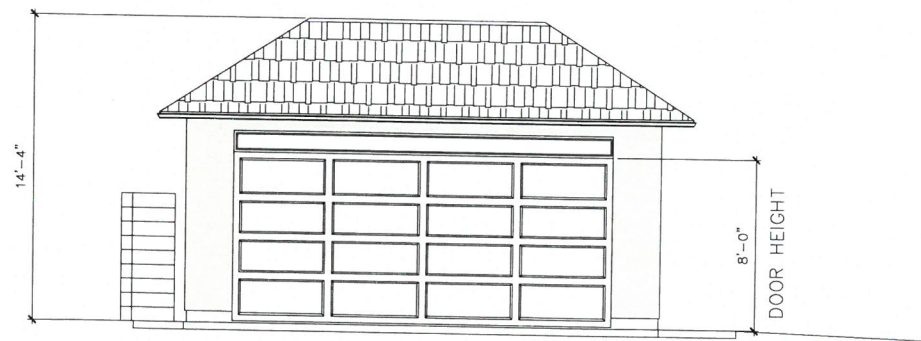
(E) GARAGE FLOOR PLAN

SCALE: 1/4" = 1'-0"



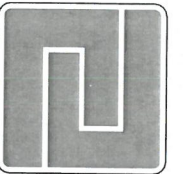
(E) WEST ELEVATION

SCALE: 1/4" = 1'-0"

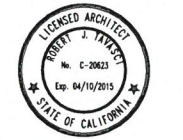


(E) SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



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SUBDIVISION PROJECT
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REVISIONS:
9 DEC 2018

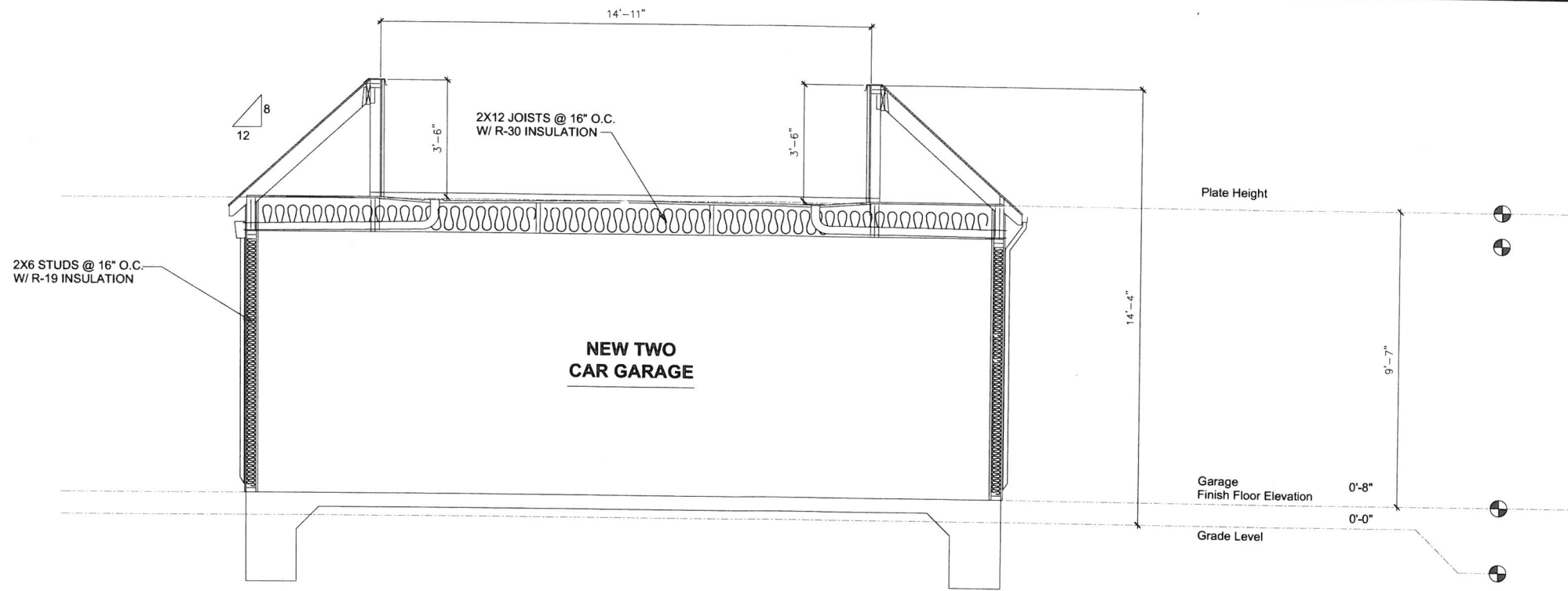
SHEET TITLE:
EXISTING FLOOR PLAN
OF GARAGE TO BE
REMOVED / EXTERIOR
ELEVATIONS

PROJECT NO: 2045-15
DATE: 26 JULY 2018
DRAWN BY: RJT
SCALE: AS NOTED
FILE: 3065 OCEAN FLR PLANS-SUBDIVISION

SHEET NO.

A-3.1

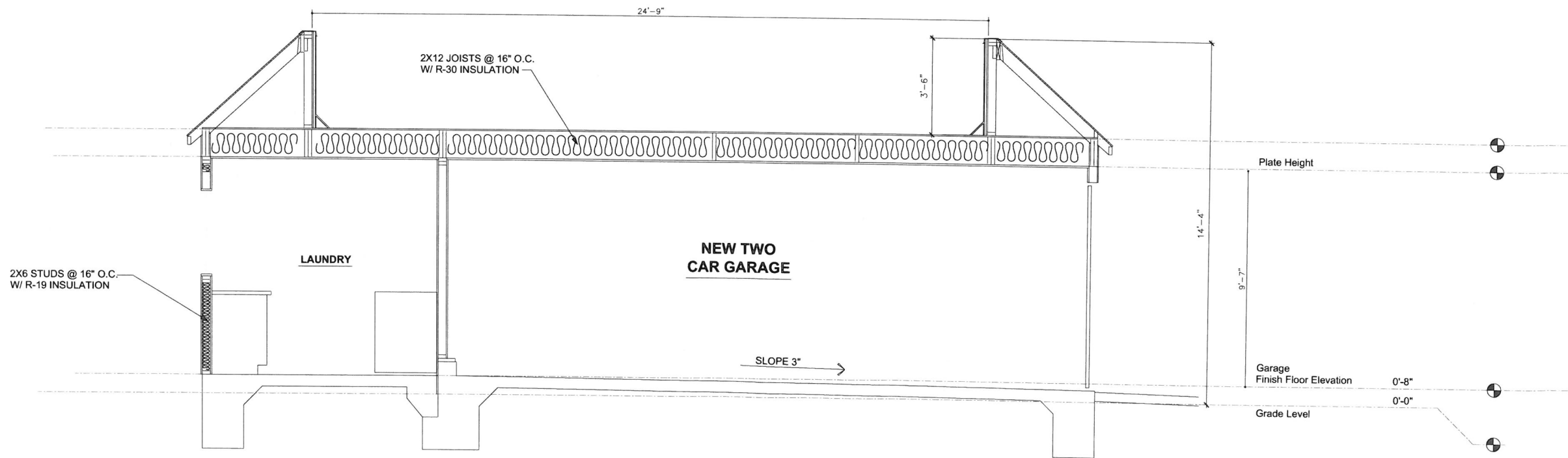
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SECTION A-A

(SEE STRUCTURAL DRAWINGS AND DETAILS)

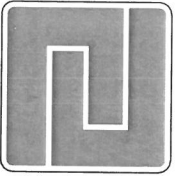
SCALE: 1/2" = 1'-0"



SECTION B-B

(SEE STRUCTURAL DRAWINGS AND DETAILS)

SCALE: 1/2" = 1'-0"



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REVISIONS:

SHEET TITLE:
**BUILDING SECTIONS
A-A / B-B**

PROJECT NO: 2045-15
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DRAWN BY: RJT
SCALE: AS NOTED
FILE: 3065 OCEAN FLR PLAN SUBDIVISION

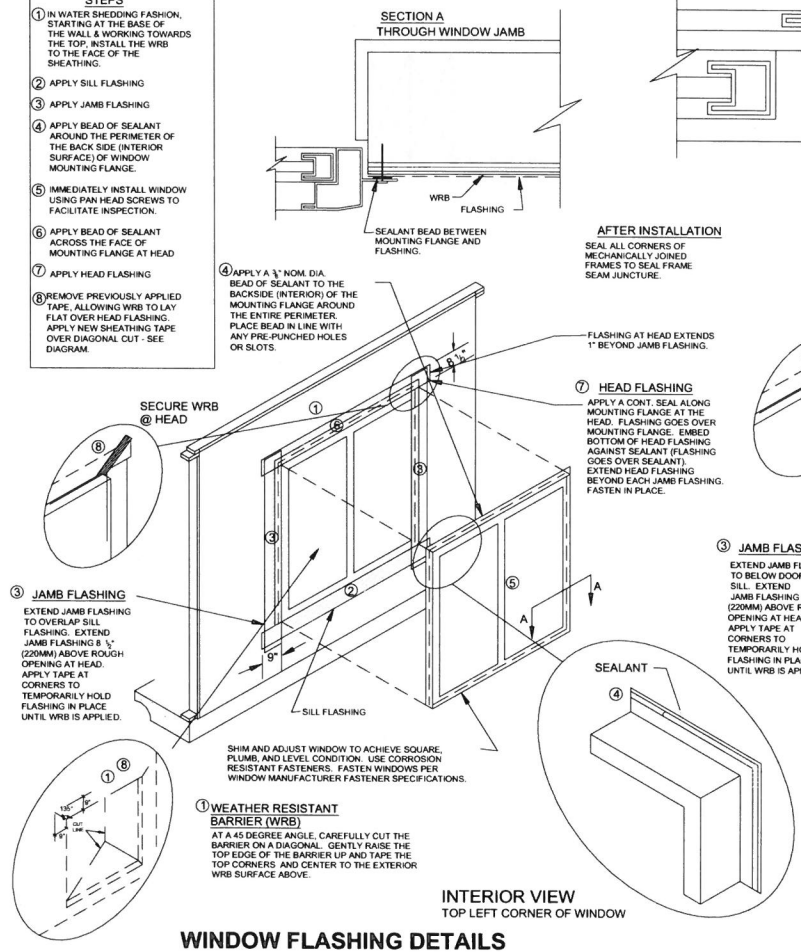
SHEET NO.
A-4.0

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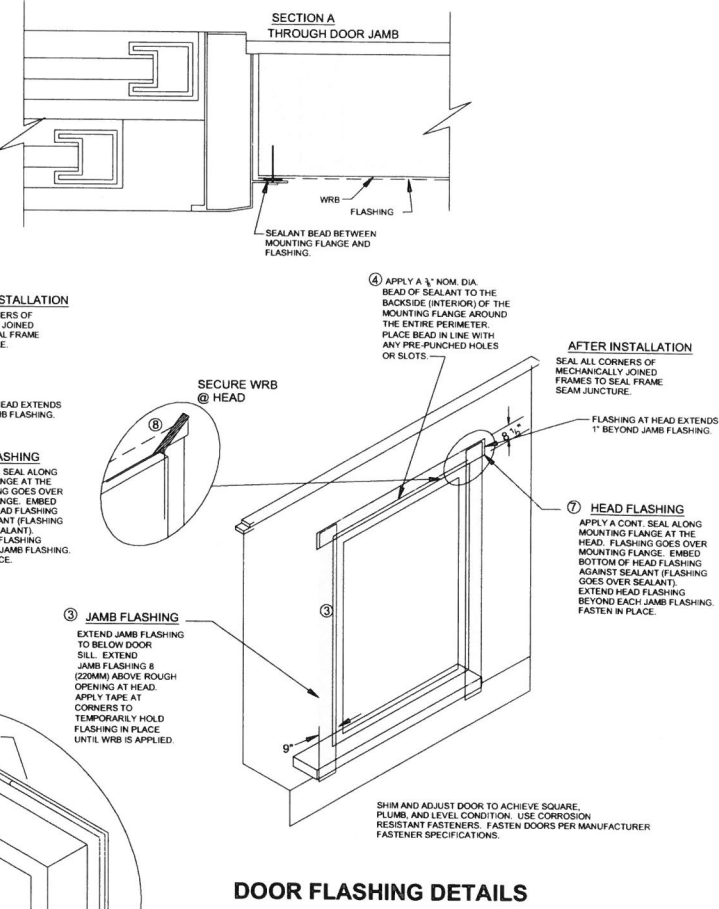
WEATHER RESISTIVE BARRIER (WRB) APPLIED PRIOR TO THE WINDOW INSTALLATION.
FLASHING APPLIED BEHIND THE MOUNTING FLANGE.

STEPS

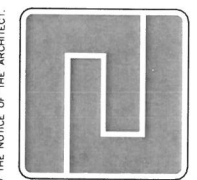
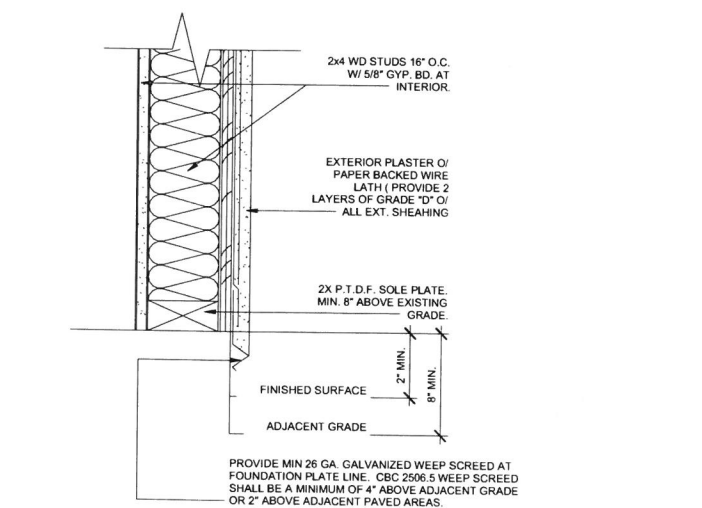
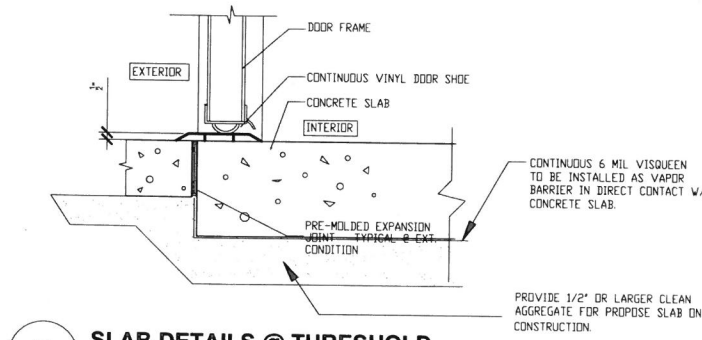
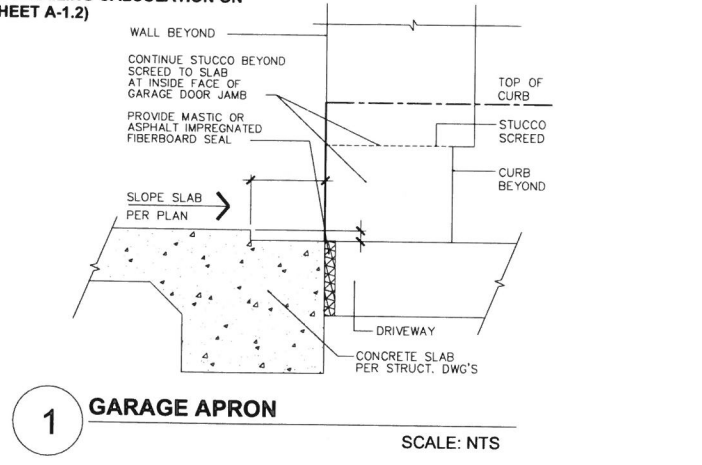
- 1 IN WATER SHEDDING FASHION, STARTING AT THE BASE OF THE WALL & WORKING TOWARDS THE TOP, INSTALL THE WRB TO THE FACE OF THE SHEATHING.
- 2 APPLY SILL FLASHING
- 3 APPLY JAMB FLASHING
- 4 APPLY BEAD OF SEALANT AROUND THE PERIMETER OF THE BACK SIDE (INTERIOR SURFACE) OF WINDOW MOUNTING FLANGE.
- 5 IMMEDIATELY INSTALL WINDOW USING PAN HEAD SCREWS TO FACILITATE INSPECTION.
- 6 APPLY BEAD OF SEALANT ACROSS THE FACE OF MOUNTING FLANGE AT HEAD
- 7 APPLY HEAD FLASHING
- 8 REMOVE PREVIOUSLY APPLIED TAPE, ALLOWING WRB TO LAY FLAT OVER HEAD FLASHING. APPLY NEW SHEATHING TAPE OVER DIAGONAL CUT - SEE DIAGRAM.



4 WINDOW / DOOR FLASHING DETAILS



(SEE RAILING CALCULATION ON SHEET A-1.2)



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REVISIONS:

SHEET TITLE:
DETAILS

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SHEET NO.

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