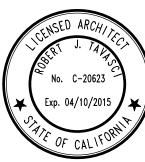


ARCHITECT

3351 ORANGEWOOD AVE.
LOS ALAMITOS, CA 90720
PH.: 562.843.1494



EIGHTS, LLC

ATHERING HEIGHTS, 3065 OCEAN BLVD.

UBDIVISION PROJECT

REVISIONS: 23 APRIL 2019

SHEET TITLE:

TITLE SHEET/

PROPOSED
SUBDIVISION /
SITE PLAN

ROJECT NO: 2044-

PROJECT NO: 2044-14

DATE: 04 APRIL 2017

DRAWN BY: RJT

SCALE: NTS

FILE NAME: 3065 E OCEAN.dwg

SHEET NO:

T-1.0

SIDE YARD: 4'-0" REQUIRED

5'-0" PROVIDED

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE DEPARTMENT OF BUILDING AND SAFETY AND ALL OTHER APPLICABLE CODES, ORDINANCES AND REQULATIONS. SEE NOTE ON PLANS OR USE MOST CURRENT EDITIONS OF 2014 LABC, 2014 CMC, 2014 CPC, 2014 CEC AND 2013 CALCREEN.
- 2. NOTIFY THE ARCHITECT BEFORE COMMENCING ANY WORK ON ITEMS WHERE DISCREPANCY OR OMISSIONS FROM THE DRAWINGS ARE ENCOUNTERED OR WHERE THERE IS ANY DOUBT AS TO THE MEANING. CONTRACTOR SHALL ATTEND JOB WALK PRIOR TO SUBMITTING BID. ALL DEMO WORK AND SITE CONDITIONS TO BE NOTED AND INCORPORATED INTO BID.
- ANY WORK OR MATERIAL SHOWN ON EITHER DRAWINGS OR SPECIFIED IN WRITING SHALL BE EXECUTED AS THOUGH COVERED BY BOTH.
- 4. ANY CONFLICT OR ERRORS IN THE DRAWINGS AND SPECIFICATIONS SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING. DIMENSIONS SHALL NOT BE SCALED FROM DRAWINGS. DIMENSIONS GIVEN ON THE DRAWINGS SHALL BE VERIFIED BY THE CONTRACTORS AND ALL SUBCONTRACTORS ON THE JOB SITE.
- 5. ALL WORK AND WORKMANSHIP SHALL COMPLY STRICTLY WITH THE REQUIREMENTS OF THE GOVERNING CODES AND OTHER GOVERNING ORDINANCES. WHERE WORK EXCEDING THESE REQUIREMENTS IS NOT SPECIFICALLY CALLED FOR IN THE CONTRACT DOCUMENTS, THEY SHALL BE CONSIDERED MINIMUM STANDARDS OF PERFORMANCE FOR THE WORK OF THIS CONTRACT.
- DISCLAIMER: THE PROJECT ARCHITECT OR ENGINEER WILL NOT BE RESPONSIBLE FOR IY ACTION TAKEN BY ANYONE ON THE PROJECT IF THAT PERSON HAS KNOWLEDGE OF ANY DISCREPANCIES, OMISSION, OR AMBIGUITY IN THE CALCULATION, DRAWINGS, OR SPECIFICATIONS, UNTIL THE PROJECT ARCHITECT OR ENGINEER HAS BEEN NOTIFIED, CORRECTED THE DISCREPANCY, MADE THE INCLUSION, OR MORE CLEARLY EXPLAINED THE INTENT OF THE CALCULATIONS, DRAWINGS OR SPECIFICATIONS.
- 7. DIMENSIONS HAVE PREFERENCE OVER SCALE. ALL DIMENSIONS ARE TO THE FACE OF THE STUDS UNLESS OTHERWISE NOTED.
- 8. ALL CONTRACTORS, ARCHITECTS, DESIGNERS & ENGINEERS SHALL MAINTAIN A CURRENT CITY BUSINESS LICENSE.
- 9. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL CLEAN UP AND REMOVE FROM THE PREMISES, FROM TIME TO TIME, ALL WASTE MATERIAL AND DEBRIS OF EVERY DESCRIPTION WHICH MAY ACCUMULATE IN OR ABOUT THE PREMISES AS A RESULT OF HIS WORK.
- 10. GENERAL CONTRACTOR AND SUBCONTRACTORS ARE TO REVIEW ALL THE CONTRACT DOCUMENTS, OTHER SECTIONS, DRAWINGS, ETC. SINCE THEY MAY INCLUDE WORK WHICH THEY ARE RESPONSIBLE FOR AND SHOULD BE INCLUDED IN THEIR BID AND AS A PART OF THE CONSTRUCTION COORDINATION WITH OTHER TRADES.
- 11. ARCHITECT SHALL NOT BE HELD RESPONSIBLE FOR CHANGES OR ADDITIONS TO THIS PROJECT, BY OWNER, OR CONTRACTOR, OR ANYONE ELSE.
- 12. UTILITY SERVICES: CONTRACTOR AND SUBCONTRACTORS SHALL CONFIRM LOCATIONS OF UTILITIES AND NOTIFY ALL PERSONS WORKING ON SITE OF EXISTING UTILITIES. CONTRACTOR SHALL LOCATE AND IDENTIFY ACTIVE UTILITY SERVICES AND TEMPORARILY DEACTIVATE THEM WHEN THEY CONSTITUTE A HAZARD. LOCATION OF GAS, ELECTRIC, AND WATER METERS TO CONFORM WITH UTILITY COMPANY REQUIREMENTS, PRIOR TO DIGGING. THE CONTRACTOR ANDORS SUBCONTRACTOR SHALL NOTIFY THE UNDERGROUND SERVICE ALERT AT (800) 4224133 AT LEAST TWO (2) DAYS PRIOR TO SCAVATION.
- 13. ANY ENERGY CALCULATIONS, AND STRUCTURAL CALCULATIONS SHALL BE CONSIDERED A PART OF THIS CONTRACT DOCUMENT AND SHALL REMAIN ON SITE DURING THE COURSE OF CONSTRUCTION ALONG WITH THE DRAWNINGS, SHOP DRAWNINGS, AND SPECIFICATIONS FOR REVIEW BY ANY SUBCONTRACTOR. THIS INFORMATION SHALL BE AVAILABLE DURING THE BIDDING PERIOD, ALL SUBCONTRACTORS ARE RESPONSIBLE FOR REVIEWING AND UNDERSTANDING THEIR CONTENT. ANY ERRORS, OMISSION, LACK OF CLARITY, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
- 14. THE CONTRACTOR, SUBCONTRACTORS, AND OWNER SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL ENVIRONMENTAL LAWS, RULES, AND REGULATIONS AS WELL AS ALL FED OSHA RULES. THIS INCLUDES, BUT IS NOT LIMITED TO ALL FULLES ADOPTED BY THE CONTROLLING AIR QUALITY MANAGEMENT DISTRICT WHICH MAY COVER PAINTS AND SOLVENTS AND ASSESTOR SEMOVAL, ALSO, OAL REGULATIONS REGARDING USAGE OF SOLVENTS AND ASSESS TO SEMOVAL, ALSO ALL REBULATIONS REGARDING STAGE OF HAZARDOUS MATERIALS, STORAGE, DISPOSAL, AND TRANSPORTATION OF HAZARDOUS WASTES. THE ARCHITECT SHALL BE HELD HARMLESS AND INDEMNIFIED BY THE OWNER AND CONTRACTOR FOR ANY LITIGATION RELATIVE TO ENVIRONMENTAL COMPLIANCE. IT IS UNDERSTOOD THE ARCHITECT IS NOT RESPONSIBLE FOR THIS AREA AND THE OWNER AND CONTRACTOR MUST BE DILLIGEN IN THIS AREA.
- 15. ALL DETAILS, SECTIONS, AND NOTES SHOWN ON DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE UNLESS OTHERWISE
- 16. THE DETAILS ON THE DRAWINGS SHALL BE USED WHEREVER APPLICABLE UNLESS NOTEO OTHERWISE ON THE DRAWINGS. NOTES AND DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
- 17. CONTRACTOR AGREES HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETYO FALL NORMAL WORKING HOURS, AND THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE ARCHITECT HARMLESS FORM ANY AND ALL LIABLITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ARCHITECT.
- 18. OBSERVATION VISITS TO THE JOB SITE BY THE ARCHITECT'S AND ENGINEER'S FIELD REPRESENTATIVES SHALL NEITHER BE CONSTRUED AS INSPECTION NOR APPROVAL OF CONSTRUCTION.
- 19. DURING AND AFTER CONSTRUCTION, THE BUILDER AND OWNER SHALL KEEP LOADS ON THE STRUCTURE WITHIN THE LIMITS OF DESIGN LOADS AS SET FORTH IN THE GOVERNING
- BUILDING CODE.

 20. PROTECT EXISTING CONSTRUCTION FINISHES, ADJACENT PROPERTY, PLANTING AND TREES, PROTECT THE WORK FROM RAIN AND OTHER NATURAL ELEMENTS, REPAIR, REFINISH, OR REPLACE ANY ITEMS DAMAGED DURING CONSTRUCTION.
- 21. TEMPORARY ELECTRIC AND WATER SERVICES SHALL BE FURNISHED AND PAID FOR BY THE OWNER UNLESS OTHERWISE NEGOTIATED.
- 22. CONTRACTOR SHALL PROVIDE A TEMPORARY TOILET IN ACCORDANCE WITH LOCAL ORDINANCES IF NO EXISTING TOILET IS AVAILABLE ON SITE.
- 23. LIABILITY INSURANCE AND WORKER'S COMPENSATION INSURANCE: CONTRACTOR AND SUBCONTRACTORS SHALL PURCHASE AND MAINTAIN, COMPLETE COVERAGE TO PROTECT THE CLAIMS UNDER WORKER'S COMPENSATION ACTS, AND HAVE CURRENT LIABILITY INSURANCE, AND SHOW PROOF THEREOF.
- 24. THE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND ARE PROTECTED BY U.S.
- 25. IF IT IS DISCOVERED THE CONTRACTOR AND/OR HIS SUBCONTRACTORS HAVE KNOWLEDGE OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES WHICH WERE NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THEIR CONTRACT AND SUBSEQUENTLY RESULTS IN AN EXTRA. SAID CONTRACTOR MAY BE HELD LIABLE FOR WITHOLDING SUCH INFORMATION.

- 26. CONTRACTOR SHALL SUBMIT LIEN RELEASES TO OWNER WITH EACH AND EVERY PAYMENT REQUEST. IN ADDITION, CONTRACTOR SHALL PROVIDE EVIDENCE OF SUBCONTRACTOR LIABILITY AND WORKERS COMPENSATION INSURANCE FOR EVERY TRADE ON THE JOB PRIOR TO RELEASE OF FUNDS FOR THAT TRADE, GENERAL CONTRACTOR SHALL PROVIDE EVIDENCE OF BUSINESS LICENSES FOR THE CITY THAT HAS JURISDICTION FOR EACH AND EVERY TRADE PRIOR TO RELEASE OF FUNDS FOOT THAT TRADE.
- 27. GENERAL CONTRACTOR SHALL ALSO SUBMIT LIABILITY INSURANCE FOR \$ 1,000,000 TO THE OWNER PRIOR TO START OF CONSTRUCTION. ALSO GENERAL CONTRACTOR SHALL SUBMIT EVIDENCE OF WORKERS COMPENSATION INSURANCE FOR EACH AND EVERY EMPLOYEE ON THE JOB SITE.
- 28. GENERAL CONTRACTOR SHALL KEEP NOISE TO A MINIMUM, NO LOUD MUSIC, NO WORKING OUTSIDE OF CITY HOURS OF CONSTRUCTION AND RESPECT FOR ALL NEIGHBORS SHALL BE MANITAINED AT ALL TIMES.
- 29. SCOPE OF CONTRACT: THE WORK OF THIS PROJECT AND INTENTION OF THESE CONTRACT DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT, INSTALLATION AND FACILITIES NECESSARY FOR CONSTRUCTION OF THIS PROJECT EXCEPT AS MAY BE NOTED ON THE DRAWINGS.
- 30. CONTRACTOR DOCUMENTS: CONSIST OF WORKING DRAWINGS, SPECIFICATIONS, OWNER/CONTRACTOR AGREEMENT AND ANY CHANGE MEMORANDUM ISSUED BY
- 31. DISCREPANCIES AND CONFLICTS: CONTRACTOR SHALL REPORT TO ARCHITECT ALL DISCREPANCIES BETWEEN FIELD CONDITIONS AND PLANS BEFORE PROCEEDING WITH WORK. ANY CONFLICTS THAT TMAY ARISE BETWEEN CONSULTANT DRAWNINGS AND ARCHITECTURAL DRAWNINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AS SOON AS PRACTICAL.
- 32. DIMENSIONS: ANY WRITTEN DIMENSIONS SHALL HAVE PREFERENCE OVER SCALED DIMENSIONS, ALL LARGER SCALE DRAWINGS SHALL HAVE PREFERENCE OVER SMALLER SCALE DRAWINGS. ALL SPECIFICATIONS SHALL HAVE PREFERENCE OVER GRAPHING.
- 33. PERMITS: CONTRACTOR SHALL PAY FOR ALL PERMIT FEES AND MISCELLANEOUS FEES AND BUILDING DEPARTMENT REQUIREMENTS AS PART OF JOB COSTS. HE SHALL ALSO BE RESPONSIBLE FOR ALL INSPECTIONS.
- 34. ALL MATERIALS SHALL BE NEW AND FREE OF ANY DEFECTS IN WORKMANSHIP AND MATERIALS
- 35. ALL SUBSTITUTIONS IN PLANS AND SPECIFICATIONS SHALL BE APPROVED IN WRITING BY OWNER.
- 36. THE OWNER RESERVES THE RIGHT TO CHANGE THE PLANS AND SPECIFICATIONS AT

SITE WORK

- PROVIDE TEMPORARY SANITATION FACILITIES DURING DURATION OF CONSTRUCTION
- P. NO TRENCHES OR EXCAVATIONS 5' OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND OR OBTAIN NECESSARY PERMIT FORM THE STATE OF CALIF DIVISION OF INDUSTRIAL SAFETY PRIOR TO ISSUANCE OF A BUILDING OR GRADING PERMI
- 3. SITE CLEARING- ALL EXISTING VEGETATION SHALL BE STRIPPED AND HALVED OFF FROM THE SITE.
- 4. MAINTENANCE OF SITE: THE ARCHITECT, ENGINEER, CONTRACTOR, OR ANY SUBCONTRACTORS SHALL NOT BE HELD RESPONSIBLE FOR ANY DAMAGES TO THE DWELLING OR THE SURROUNDING SITE AS A RESULT OF THE OWNER'S MAINTENANCE PRACTICES. HOWEVER, THE FOLLOWING SHOULD BE PASSED ON TO THE OWNER AS RECOMMENDATIONS FOR MAINTENANCE OF GRADED STSE.
- MAINTAIN EXISTING SLOPE PLANTING, PROVIDED NEW APPROVED PLANTING HERE LACKING AND MAINTAIN IRRIGATION SYSTEMS IN WORKING ORDER.
- B. MAINTAIN PAVED DIVERTER TERRACE, INTERCEPTOR TERRACES, DOWN DRAINS, APPURTENANCES SUCH AS INLETS AND VELOCITY REDUCER STRUCTURES IN CLEAN CONDITIONS AND IN GOOD REPAIR.
- C. EARTH BERMS PREVENT WATER FROM FLOWING OVER SLOPES. IT IS IMPORTANT THESE BERMS BE MAINTAINED.
- STANDING STORM WATER ON THE PAD AREA DIRECTLY ABOVE DESCENDING OPES, WHETHER NATURAL, CUT, OR FILL IS A MAJOR CONTRIBUTOR TOWARD SLOPE FAILURE. IT IS IMPORTANT THE PAD DRAINAGE BE MAINTAINED AT A MINIMUM OF 2% TO THE STREET OR OTHER APPROVED LOCATION TO PREVI
- F. CATCH BASINS, GRATES, AND SUBSURFACE DRAINAGE PIPING SHOULD BE KEPT FREE OF SILT AND DEBRIS.
- G. ROOT GUTTERS AND DOWN SPOUTS SHOULD BE INSPECTED PERIODICALLY TO ASSURE THEY ARE NOT BROKEN OR CLOGGED. ALL NONE-EROSIVE DRAINAGE DEVICES SHOULD BE KEPT CLEAN AND IN GOOD REPAIR.
- H. EXTENSIVE LANDSCAPING OR REVISIONS TO THE PROPERTY MAY SERIOUSLY ALTER THE SURFACE DRAINAGE PATTERN. WHEN LANDSCAPING, HOMEDWINERS SHOULD A VOID DISRUPTING FLOW PATTERNS CREATED WHEN THE PROPERTY DRAINAGE IN HILLSIDE AREAS IS FROM THE REAR YARD TO THE STREET. SOME PROPERTIES DRAIN TO NATURAL WATERCOURSE, OR OTHER SPECIFIC WATERCOURSE INTENDED FOR THIS USE.
- I. ANY PROBLEMS SUCH AS EROSION SHOULD BE REPAIRED IMMEDIATELY IN ORDER THAT MORE SERIOUS PROBLEMS MAY BE AVERTED.
- J. RODENT ACTIVITY SHOULD BE CONTROLLED TO PREVENT WATER PENETRATION AND LOOSENING OF THE SOIL.
- 5. ALL CONSTRUCTION WASTE AND DEBRIS MUST BE CONTAINERIZED AT ALL TIMES.
- 6. CONTRACTOR SHALL CLEAR SITE TREES, ROOTS OR OTHER MATERIALS THAT WOULD HINDER CONSTRUCTION PROGRESS OR AS SHOWN ON DRAWINGS
- . PROVIDE ALL LABOR AND MATERIALS NECESSARY FOR PERFORMANCE OF SITE RADING AS PER PLANS, SPECIFICATIONS AND SOILS REPORTS IF AVAILABLE.
- PROVIDE LABOR AND MATERIALS TO INSTALL DRAINAGE AND IRRIGATION AS PER PLANS AND SPECIFICATIONS.

FIRE PREVENTION NOTES

SMOKE AND FIRE DAMPERS MUST BE INSTALLED IN THE FOLLOWING LOCATIONS PER SECTIONS 717.3

- A. DUCT PENETRATIONS OF FIRE WALLS IN ACCORDANCE TO SECTION (717.1.1)

 B. DUCT PENETRATIONS OF FIRE BARRIERS, EXCEPT EXIT ENCLOSURES AND EXIT PASSAGEWAYS WHERE THEY ARE NOT ALLOWED TO PENETRATE. (717.5.2)

 C. DUCTS PENETRATING SHAFTS. (717.5.3)

 DUCTS PENETRATING FIRE PARTITIONS AND FIRE-RATED CORRIDOR WALLS. SEE EXCEPTION FOR STEEL DUCTS WITH NO OPENINGS INTO CORRIDOR (717.5.4.1)

 F. DUCTS PENETRATING SMOKE BARRIERS (717.5.5)

 F. DUCTS PENETRATING HORIZONTAL ASSEMBLIES (717.6)

- A. IN BUILDINGS USED FOR RESIDENTIAL OCCUPANCIES, DRAFT STOPS MUST BE INSTALLED IN SECTION RESIDENTIAL OCCUPANCIES, DIVAT IS 100'S MUST BE INSTALLED IN MOOD FRAME FLOOR CONSTRUCTION CONTAINING CONCEALED SPACE. DRAFTSTOPPING SHALL BE LOCATED ABOVE AND INLINE WITH THE DWELLING UNIT AND SLEEPING UNIT SEPARATION, (718.3.3). IN BUILDINGS USED FOR RESIDENTIAL OCCUPANCIES, DRAFT STOPS MUST BE
- IN BUILDINGS USED FOR RESIDENTIAL OCCUPANCIES, DRAFT STOPS MUST BE INSTALLED IN THE ATTIC (MANASARDS) (OVERHANGS) (FALSE FRONTS SET OUT FROM WALLS) (SIMILAR CONCEALED SPACES) FORMED BY COMBUSTIBLE CONSTRUCTION. DRAFTSTOPING SHALL BE INSTALLED ABOVE AND INLINE WITH SLEEPING UNIT AND DWELLING UNIT SEPARATION WALLS THAT DO NOT EXTEND TO THE UNDERSIDE OF THE FLOOR SHEATHING ABOVE, (7 184.3). DRAFT-STOPPING MATERIALS MUST NOT BE LESS THAN ~INCH (SPSUM BOARD, 3/B-INCH TYPE 2.M PARTICLE BOARD OR OTHER MATERIALS APPROVED BY THE BUILDING DEPARTMENT, DRAFT-STOPPING MUST BE ADEQUATELY SUPPORTED. (718.3.1)

FIRE BLOCKING
FIRE BLOCKING MUST BE PROVIDED IN ACCORDANCE WITH SECTION 718 AT THE

- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS, (7182.2)
 IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT 1 0 F-00T INTERVALS ALONG THE LENGTH OF THE WALL, (718.2)
 AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL
- AT ALL INTERCONNECTIONS BETWEEN CONCELLED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILINGS AND SIMILAR LOCATIONS, (718.2.3)
 IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALL UNDER THE STARRS IS UNFINISHED, (718.2.4)
 IN OPENINGS ANDUD VENTS, PIPES, DUCTS, CHIMMEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR

OPENINGS AND PENETRATIONS

OPENINGS THROUGH A FLOOR/ CEILING ASSEMBLY SHALL BE PROTECTED BY (1)_(2)_HOUR SHAFT ENCLOSURE. THE SHAFT ENCLOSURE SHALL BE CONSTRUCTED OF FIRE BARRIERS AND/OR HORIZONTAL ASSEMBLIES. (713.1, 713.4)

PENETRATIONS IN A FIRE-RATED WALL SHALL BE PROTECTED BY AN APPROVED FIRE STOP MATERIAL IN ACCORDANCE WITH SECTION 714.3.1.

- A STEEL, COPPER OR FERROUS PIPES OR CONDUITS MAY PENETRATE CONCRETE OR MASONRY WALLS WHERE THE PENETRATING ITEM IS A MAXIMUM 6- INCH DIAMETER AND THE AREA OF THE O'PENING THROUGH THE WALL DOES NOT EXCEED 144 SQUARE
- THE AREA OF THE OPENING THROUGH THE WHAL AUGUSTANCE AREA WALL AND MOHES
 MEMBRANE PENETRATIONS OF MAXIMUM 2-HR FIRERESISTANCE RATED WALL AND
 PARTITIONS BY STEEL ELECTRICAL OUTLET BOXES NOT EXCEEDING 16 SQUARE
 INCHES ARE PERMITTED PROVIDED OPENINGS DO NOT EXCEED 100 SQUARE INCHES
 FOR ANY 100 SQUARE FEET OF WALL AREA OUTLET BOXES ON OPPOSITE SIDES OF
 WALLS OR PARTITIONS MUST BE SEPARATED BY A HORIZONTAL DISTANCE OF 24
- INCHES. (714.3.2)
 WHERE WALLS ARE PENETRATED BY OTHER MATERIALS OR WHERE LARGER
 OPENINGS ARE REQUIRED THAN PERMITTED IN (B) ABOVE, THEY MUST BE QUALIFIED
 BY TESTS CONDUCTED IN ACCORDANCE WITH SECTION (714.3.1.1)

RESIDENTIAL PLAN - GENERAL NOTES

SECURITY REQUIREMENTS

- EXTERIOR DOORS, DOORS BETWEEN HOUSE AND GARAGE, WINDOWS AND THEIR HARDWARE SHALL CONFORM TO THE SECURITY PROVISIONS OF CHAPTER 67 OF THE LOS ANGELES COUNTY BUILDING CODE (LACEC):
- IT IN EAST ANGELES COORTH BUILDING SUCK (ELGAGLY).

 SINGLE SWINGING DOORS, ACTIVE LEAF OF A PAIR OF DOORS, AND THE BOTTOM LEAF OF DUTCH DOORS SHALL BE EQUIPPED WITH A LATCH AND A DEADBOLT KEY OPERATED FROM THE OUTSIDE DEADBOLTS SHALL HAVE ARROBED IN SHERT WITH "I MINIMUM THROW AND 58" MINIMUM EMBEDMENT INVEST HARD BEED IN SHERT WITH KEY LOOKING FEATURE. IT SHALL BE DEAD LATCH TYPE (BC5703) IF A LATCH HAS A KEY LOCKING FEATURE. IT SHALL BE DEAD LATCH TYPE (BC5703) IF A LATCH HAS A SHE LEAF OF A PAIR OF DOORS AND THE UPPER LEAF OF DUTCH DOORS SHALL HAVE A DEADBOLT AS PER PARAGRAPH "A". UNLESS IT IS NOT KEY OPERATED FROM THE EXTERIOR, OR HAS A HARDENED DEADBOLT AT TOP AND BOTTOM WITH "I 72 "EMBEDMENT, (BC 6709.3)"

 C. SWINGING WOOD DOOR(S) SHALL BE SOLID CORE NOT LESS THAN 1-3/8" THICK (BC 6709.1)"

- TRUE THE STREET OF WOOD DOORS SHALL BE 9/16" THICK AND NOT MORE THAN 300 SQ. INCHES. STILES AND RAILS TO BE 1-3/8" THICK AND 3" MINIMUM WIDTH. (BC6709.1.2) DOOR HINGE PINS ACCESSIBLE FROM THE OUTSIDE SHALL BE NON-REMOVABLE. (BC

- DOOR HINGE PINS ACCESSIBLE FROM THE OUTSIDE SHALL BE NON-REMOVABLE. (BC 6708.5)
 DOOR STOPS OF WOOD JAMBS OF IN-SWINGING DOORS SHALL BE ONE PIECE CONSTRUCTION OR JOINED BY A RABBET. (BC 6708.4)
 WINDOWS AND DOOR LIGHTS WITHIN 40" OF THE LOCKING DEVICE OF THE DOOR SHALL BE FULLY TEMPEREDAPPROVED BURGLARY RESISTANT/PROTECTED BY BARS, SCREENS OR GRILLS. (BC 6714)
 OVERHEAD AND SLIDING GARAGE DOORS SHALL BE SECURED WITH A CYLINDER LOCK. A PADLOCK WITH A HARDENED STEEL SHACKLE, OR EQUIVALENT WHEN NOT OTHERWISE LOCKED BY LECTRIC POWER OPERATION. JAMB LOCKS SHALL BE ON BOTH JAMBS FOR DOORS EXCEEDING 9 FEET IN WIDTH (BC 6711)
 SLIDING GLASS DOORS AND SLIDING GLASS WINDOWS SHALL BE CAPABLE OF WITHSTANDING THE TESTS SET FORTH IN SECTION 6706 AND 6707 OF THE LOS ANGELES COUNTY BUILDING CODE AND SHALL BEAR A LABEL INDICATING COMPLANCE WITH THESE TESTS. (BC 6710, 6715)

GLAZING

EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BE IDENTIFIED BY A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DENITIFIED BY A MANUFACTURER'S DESIGNATION SECRETORY SHEET TO THE OFFICE OF THE OFFICE OF THE OFFICE OF THE OFFICE OFFICE

- SWING DOORS. FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SLIDING AND BI-FOLD CLOSET DOOR ASSEMBLIES.

- AND BI-FOLD CLOSET DOOR ASSEMBLIES.
 STORM DOORS.
 UNFRAMED SWINGING DOORS.
 UNFRAMED SWINGING DOORS.
 DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS,
 BATHTUBS, AND SHOWERS.
 FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED
 EDGE OF THE GLAZING IS WITHIN 24 INCHES (610 MM) ARC OF EITHER VERTICAL EDGE
 OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF
 THE GLAZING IS LESS THAN 60 INCHES (1525 MM) ABOVE THE WALKING SURFACE.
 READ COIDS FOR EXCEPTIONS.
- READ CODE FOR EXCEPTIONS.

 FIXED OR OPERABLE PANEL, OTHER THAN DESCRIBED IN ITEMS E AND F, WHICH
 MEETS ALL OF THE FOLLOWING CONDITIONS (READ CODE FOR EXCEPTION WITH

- MEETS ALL OF THE FOLLOWING CONDITIONS (READ CODE FOR EXCEPTION WITH SPECIAL INSTALLATION), PSPECIAL INSTALLATION), I. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SOLIARE FEET (0.8 M2) II. EXPOSED BOTTOM EDGE LESS THAN 18 INCHES (914 MM) ABOVE THE FLOOR III. EXPOSED BOTTOM EDGE LESS THAN 18 INCHES (914 MM) ABOVE THE FLOOR III. EXPOSED NORE WALKING SUFFACES WITHIN 38 INCHES (914 MM) HORIZONTALLY OF THE PLANE OF THE GLAZING.

 GUARDS AND RAILINGS REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE. INCLUDED ARE STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL IN-FILL PANELS.

 WALLS AND FENCES ENCLOSING INDOOR AND OUTDOOR SWIMMINING POOLS AND SPAS WHERE ALL OF THE FOLLOWING CONDITIONS ARE PRESENT:

 I. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1525 MM) ABOVE A WALKING SURFACE ON THE POOL OR SPA SIDE OF THE GLAZING. I
- EDGE.

 ADJACENT TO STAIRWAYS, LANDINGS AND RAMES WITHIN 36 INCHES HORIZONTALLY
 OF A WALKING SURFACE: WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN
 60 INCHES ABOVE THE PLANE OF THE ADJACE TWALKING SURFACE(READ CODE FOR
 EXCEPTION WITH SPECIAL INSTALLATION).
 ADJACENT TO STAIRWAYS WITHIN 80 INCHES HORIZONTALLY OF THE BOTTOM TREAD
 OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS
 LESS THAN 60 INCHES ABOVE THE NOSE OF THE TREAD (READ CODE FOR EXCEPTION
 WITH SPECIAL INSTALLATION).

MECHANICAL / PLUMBING / ELECTRICAL CODE REQUIREMENTS

DWELLING SHALL BE PROVIDED WITH COMFORT HEATING FACILITIES CAPABLE OF MAINTAINING A ROOM TEMPERATURE OF 86 DEGREES F AT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS. (R303.9)

THE FOLLOWING ARE REQUIRED FOR CENTRAL HEATING FURNACES AND LOW PRESSURE BOILERS IN A COMPARTMENT:

- a. LISTED APPLIANCES SHALL BE INSTALLED WITH CLEARANCES IN ACCORDANCE WITH THE TERMS OF THEIR LISTINGS AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. (MC 904.2(1))

- THE CLEARANCES ALLOWED BY THE MANUFACTURER'S INSTALLATION INSTRUCTIONS, (MC 904.2(2)) WHEN COMBUSTION AIR IS TAKEN FROM INSIDE, THE AREA OF COMBUSTION AIR OPENINGS SHALL BE 1 SQ. INCH PER 1,000 BTU (100 SQ. INCH MIMIMUM) PER OPENING, ONE OPENING SHALL BUTTHIN 12 INCHES OF THE CELLING AND THE SECOND SHALL BE WITHIN 12 INCHES OF THE BOTTOM OF THE ENCLOSURE. THE DIMENSION SHALL BUTTHIN 12 INCHES, (MC 701.5TQ) INCHES OF THE BOTTOM OF THE CONTROL OF THE BOTTOM OF THE PROPERTY OF THE PROPERTY OF THE BOTTOM OF THE PROPERTY OF THE BOTTOM OF THE PROPERTY OF THE
- OPENINGS, AND MAINTAINED TO THE SOURCE OF COMBUSTION AIR. (MC 701.11 (4))
- 3. THE FOLLOWING ARE REQUIRED FOR APPLIANCES INSTALLED IN AN ATTIC:
- a. AN OPENING AND PASSAGEWAY SHALL NOT BE LESS THAN 22 INCHES BY 30 INCHES,

- WHERE THE PASSAGEWAY HEIGHT IS LESS THAN 6 FEET, THE DISTANCE FROM ACCESS TO THE APPLIANCE SHALL NOT EXCEED 20 FEET, AS MEASURED ALONG THE CENTERLINE, (MG 904.10.1)

 PASSAGEWAY SHALL BE UNOBSTRUCTED AND SHALL HAVE SOLID FLOORING NOT LESS EACH OF THE APPLIANCE, MG 904.10.2)

 IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE, MG 904.10.2

 IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE, MG 904.10.3
- e. INSTALLED NEAR THE APPLIANCE. LIGHT SWITCH SHALL BE LOCATED AT THE ENTRANCE TO THE PASSAGEWAY. (MC 904.1 0.4)

 A TYPE 9 OR L GAS VENT SHALL TERMINATE NOT LESS THAN 5 FEET ABOVE THE HIGHEST CONNECTED APPLIANCE FLUE COLLAR OR DRAFT HOOD. (MC 802.6.2.1)

 APPLIANCE INSTALLATION CLEARANCES. SHALL MEET ALL LISTED (MC 303.2)
- 4. CLOTHES DRYER MOISTURE EXHAUST DUCT SHALL TERMINATE ON THE OUTSIDE OF THE BUILDING AND SHALL BE EQUIPPED WITH A BACK-DRAFT DAMPER. SCREENS SHALL

CLOTHES DRYER MOISTURE EXHAUST DUCT SHALL BE 4 INCHES IN DIAMETER AND LENGTH IS LIMITED TO 14 FEET WITH TWO ELBOWS FROM THE CLOTHES DRYER TO POINT OF TERMINATION. DUCT LENGTH SHALL BE REDUCED BY 2 FEET FOR EVERY ELBOW IN EXCESS OF TWO. (MC 504.3.1 & 504.3.1 2)

- 6. HEATING APPLIANCES (WATER HEATER, FURNACE, ETC.) LOCATED IN THE GARAGE, WHICH CREATE A GLOW, SPARK OR FLAME, SHALL BE INSTALLED AT LEAST 18 INCHES ABOVE THE FLOOR, (MC 303) I) DUCTS SHALL BE SIZED PER CHAPTER 6 OF THE MECHANICAL CODE. THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOTEXCEED 1280FP. LININALS SHALL BE OSOFP MAXIMUM, (GC 4.303.1).
- SINGLE SHOWER HEADS SHALL HAVE A MAXIMUM FLOW RATE OR 2.0GPM. AT 80PSI. MULTIPLE SHOWER HEADS SERVING ONE SHOWER SHALL HAVE A COMBINED FLOW RATE OF 2.0GPM AT 80PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT 1 TIME. (GC 4.303.1.3)
- LAVATORY FAUCETS SHALL NOT EXCEED 1.5GPM AT 60PSI, THE MINIMUM FLOW RATE 10. KITCHEN FAUCETS SHALL NOT EXCEED 1.8GPM AT 60PSI. THE FAUCET MAY TEMPORARILY INCREASE TO ABOVE THIS RATE, BUT NOT TO EXCEED 2.2GPM AT 60PSI, AND MUST DEFAULT TO THE MAXIMUM FLOW RATE OF 1.8GPM AT 60PSI. (GC 4.303.1.4)
- STORIES OF AREAS. (PC 701.1 (2)) 12. ALL SHOWERS AND TUB-SHOWERS SHALL HAVE A PRESSURE BALANCE, THERMOSTATIC MIXING VALVE, OR A COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING TYPE VALVE, (PC 418)
- 13. ALL NEW, REPLACEMENT AND EXISTING WATER HEATERS SHALL BE STRAPPED TO THE WALL IN TWO PLACES. ONE ON THE UPPER 1/3 OF THE TANK, AND ONE ON THE LOWER 1/3 OF THE TANK. THE LOWER POINT SHALL BE A MINIMUM OF 4 INCHES ABOVE
- HE CONTROLS. (PC 508.2) 14. PLUMBING PLAN CHECK< AND APPROVAL ARE REQUIRED FOR 2 INCH OR LARGER GAS LINES AND/OR WATER LINES.
- 15. GROUND-FAULT CIRCUIT-INTERRUPTION (GFCI) FOR PERSONNEL SHALL BE PROVIDED
- 16. ARC-FAULT CIRCUIT-INTERRUPTION SHALL BE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (EC 21 0.12)
- 17. TAMPER-RESISTANT RECEPTACLES SHALL BE INSTALLED IN ALL AREAS SPECIFIED IN 210.52, ALL NONLOCL-SING-TYPE 12-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. (EC 406.12) 18. WHERE NM CABLE (ROMEX) IS RUN ACROSS THE TOP OF CEILING JOISTS AND/OR WHERE THE ATTIC IS NOT ACCESSIBLE BY PERMANENT STAIRS OR LADDERS, PROTECTION WITHIN 6 FEET OF THE NEAREST EDGE OF THE SCUTTLE OR ATTIC ENTRANCE SHALL BE PROVIDED. (EC 334.23, 320.23(A))

EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER

21. WATER HEATERS MUST BE STRAPPED TO A WALL (SEC. 507.3, UPC)

20. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO HEIGHT NOT

RESISTANT GYPSUM BACKING BOARD SHALL BE AS STATED IN SECTION 2509.3

REVISIONS:

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SHEET TITLE:

GENERAL NOTES

PROJECT NO: 2045-15

DATE: 26 JULY 2018

DRAWN BY: RJT

SCALE: AS NOTED FILE: 3065 OCEAN FLR PLANS-SUBDI

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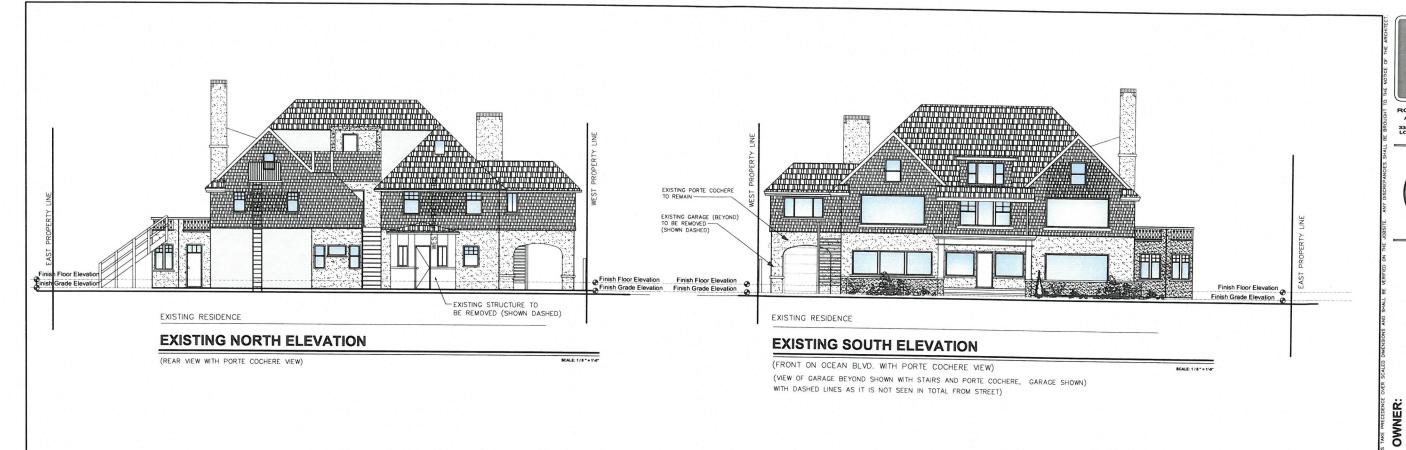
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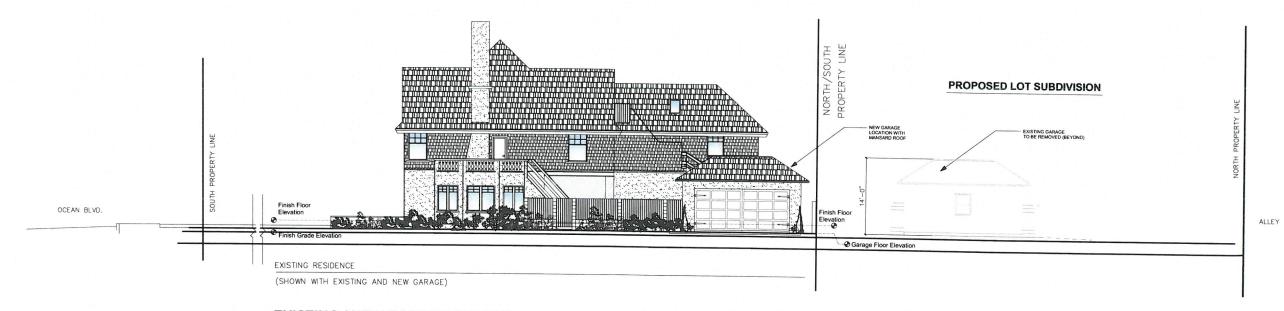
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WEAT

BEACH, LONG

ECT OCEAN BLVD. EACH, CA 9080 PROJ BEACH, Z O S 3065 LONG





EXISTING / NEW EAST ELEVATION

(RIGHT SIDE ON PALOMA STREET WITH EXISTING AND NEW GARAGE)

ALE: 1107-1107



ROBERT J TAVASCI A R C H I T E C T 3351 ORANGEWOOD AVE. LOS ALAMITOS, CA 90720 PH.: 562.843.1494



SHTS, LLC

WEATHERING HEIGHTS, 3065 OCEAN BLVD. LONG BEACH, CA 90803

SUBDIVISION PROJECT

PROJECT:

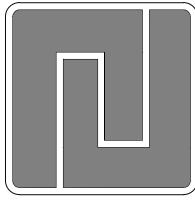
SHEET TITLE:
EXISTING
NORTH/SOUTH/EA
EXTERIOR
ELEVATIONS

ROJECT NO	D:		204	4-14
ATE:	04	AF	PRIL	201
RAWN BY:				RJ
CALE:				NT
LE NAME:	3065	E	OCE.	AN.dw

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(LEFT) SIDE LOOKING AT PALOMA STREET WITH EXISTING AND PORTION OF NEW GARAGE)

WINDOW SCHEDULE MANUF. GLASS TYPE MATERIAL COLOR GLAZING HT DIMENSIONS QNT LOCATION **WINDOW SCHEDULE (Continued)** NUMBER WIDTH HEIGHT OPERATION REMARKS MANUF. GLASS TYPE MATERIAL COLOR NUMBER WIDTH HEIGHT OPERATION REMARKS GLAZING LOCATION DIMENSIONS QNT " - 0" | 2'-0"X 2'-0" TOP CUSTOM CLEAR WOOD BRN TOP SECTION IS TRUE SECOND FLOOR GLAZED 2'-0"X 3'-0" BOT DIVIDED LIGHT CUSTOM CLEAR WOOD BRN ' - 0" | 2'-0"X1'-8" CSMT - 0" | CSMT - 3'-0"X4'-0" | 1 TOP SECTION IS TRUE 4'-6"X1'-8" FIXED **DIVIDED LIGHT** 7' - 0" 2'-0"X1'-8" CSMT CASEMENT MILGARD CLEAR ' - 0" | CSMT - 3'-0"X4'-0" | 1 | BEDROOM 1 CUSTOM CLEAR WOOD BRN TOP SECTION IS TRUE 4'-6"X1'-8" FIXED HUNG WOOD GLAZED DIVIDED LIGHT CUSTOM CLEAR WOOD BRN SNGL GLAZED 7' - 0" | 2'-0"X1'-8" CSMT | 1 | SITTING ROOM |7' - 0" |12'-0"X6'-6" FIXED | 1 | LIVING ROOM |4' - 6" | 5' - 0" | DOUBLE |12' - 0" | 6' - 6" | FIXED CUSTOM CLEAR WOOD BRN SNGL TOP SECTION IS TRUE 4'-6"X1'-8" FIXED WOOD CUSTOM CLEAR WOOD BRN SNGL GLAZED 4' - 0" DOUBLE 7' - 0" DBL HUNG CUSTOM CLEAR WOOD BRN SNGL 7' - 0" 12'-0"X6'-6" FIXED 1 LIVING ROOM 12' - 0" | 6' - 6" | FIXED - 3'-0"X4'-0" GLAZED HUNG |WOOD | CUSTOM CLEAR WOOD BRN SNGL GLAZED CUSTOM CLEAR WOOD BRN SNGL 7' - 0" 12'-0"X6'-6" FIXED 1 ENTRY 3' - 0" | 4' - 0" | DOUBLE 7' - 0" DBL HUNG |5' - 0" |4' - 6" |FIXED 1 BEDROOM 1 - 3'-0"X4'-0" WOOD GLAZED HUNG CUSTOM CLEAR WOOD BRN SNGL GLAZED 3' - 0" 4' - 0" DOUBLE CUSTOM CLEAR WOOD BRN SNGL 7' - 0" 12'-0"X6'-6" FIXED 1 ENTRY 7' - 0" | DBL HUNG 5' - 0" | 4' - 6" | FIXED - 3'-0"X4'-0" HUNG CUSTOM CLEAR WOOD BRN GLAZED 7' - 0" | 12'-0"X6'-6" FIXED | 1 | LIVING ROOM | CUSTOM | CLEAR | WOOD | BRN | SNGL | 7' - 0" | 4'-0"X4'-0" FIXED | 1 | DEN 12' - 0" | 6' - 6" | FIXED |4' - 0" | 4' - 0" | FIXED WOOD 2' - 6" 4' - 0" DOUBLE CUSTOM CLEAR WOOD BRN GLAZED CUSTOM CLEAR WOOD BRN SNGL 7'-0" 4'-0"X4'-0" FIXED 1 DEN 7' - 0" DBL HUNG 4' - 0" | 4' - 0" | FIXED - 2'-6"X4'-0" GLAZED 11' - 0" 4' - 0" (2) SLIDERS VINYL CLEAR VINYL BRN GLAZED 7' - 0" (2) 3'-0"X4'-0" SLD | 1 | BEDROOM 2 4' - 0" | 4' - 0" | FIXED CUSTOM CLEAR WOOD BRN SNGL 7'-0" 4'-0"X4'-0" FIXED 1 DEN (1) 5'-0"X4'-0" FXD GLAZED 3' - 0" 3' - 0" FIXED CUSTOM CLEAR WOOD BRN SNGL 7' - 0" 3'-0"X3'-0" FIXED 1 BEDROOM 1 7' - 0" | DBL HUNG CUSTOM CLEAR WOOD BRN SNGL GLAZED 3' - 0" | 3' - 0" | CASEMENT | CUSTOM | CLEAR | WOOD | BRN | SNGL | 7' - 0" | 3'-0"X3'-0" CSMT | 1 | BEDROOM 1 |3' - 0" | |5' - 0" | DOUBLE 7' - 0" | DBL HUNG 1 BEDROOM 4 HUNG - 3'-0"X4'-0" CUSTOM CLEAR WOOD BRN GLAZED 3' - 0" | 3' - 0" | CASEMENT | CUSTOM | CLEAR | WOOD | BRN | SNGL | 7' - 0" | 3'-0"X3'-0" CSMT | 1 | BEDROOM 1 3' - 0" 5' - 0" DOUBLE 7' - 0" | DBL HUNG 1 BEDROOM 4 GLAZED HUNG - 3'-0"X4'-0" CUSTOM CLEAR WOOD BRN SNGL GLAZED 3' - 0" | 5' - 0" | DOUBLE 7' - 0" | DBL HUNG 1 BEDROOM 3 HUNG - 3'-0"X4'-0" GLAZED CUSTOM CLEAR WOOD BRN SNGL GLAZED 3' - 0" 5' - 0" DOUBLE 7' - 0" | DBL HUNG 2' - 0" | 5' - 0" | CASEMENT | CUSTOM | CLEAR | WOOD | BRN | SNGL | 7' - 0" | 2'-0"X5'-0" CSMT | 1 | LAUNDRY HUNG - 3'-0"X4'-0" CUSTOM CLEAR 2' - 0" | 5' - 0" | CASEMENT | CUSTOM | CLEAR | WOOD | BRN | SNGL | 7' - 0" | 2'-0"X5'-0" CSMT | 1 | LAUNDRY 3' - 0" DOUBLE 7' - 0" | DBL HUNG WOOD WOOD BRN GLAZED HUNG - 3'-0"X3'-0" WOOD 2' - 0" | 5' - 0" | CASEMENT | CUSTOM | CLEAR | WOOD | BRN | SNGL | 7' - 0" | 2'-0"X5'-0" | CSMT | 1 | LAUNDRY 3' - 0" | 5' - 0" | DOUBLE CUSTOM CLEAR 7' - 0" | DBL HUNG 1 BEDROOM 2 WOOD | BRN | GLAZED WOOD CUSTOM CLEAR 3' - 0" | 5' - 0" | DOUBLE 7' - 0" | DBL HUNG |3' - 0" | 4' - 0" | DOUBLE | CUSTOM | CLEAR | WOOD | BRN | SNGL 7' - 0" | 3'-0"X4'-0" CSMT | 1 | BEDROOM 2 1 BEDROOM 2 "\ WOOD | BRN | GLAZED GLAZED WOOD 3' - 0" | 4' - 0" | DOUBLE CUSTOM CLEAR WOOD BRN SNGL 7'-0" 3'-0"X4'-0" DBL 1 BEDROOM 2 CUSTOM CLEAR WOOD BRN SNGL 3' - 0" | 4' - 0" | DOUBLE 7' - 0" | 3'-0"X4'-0" DBL | 1 | BEDROOM 2 THIRD FLOOR WOOD GLAZED HUNG 3' - 0" 4' - 0" CASEMENT CUSTOM CLEAR WOOD BRN CUSTOM CLEAR WOOD BRN SNGL 7' - 0" 3'-0"X4'-0" DBL 1 BATH 7' - 0" | 2'-6"X 4'-0" CSMT | 1 | BATH |3' - 0" | 4' - 0" | DOUBLE 4' - 0" CASEMENT CUSTOM CLEAR 7' - 0" | 2'-6"X 4'-0" CSMT | 1 | DINING 2' - 6" | 4' - 0" | DOUBLE CUSTOM CLEAR WOOD BRN SNGL 7' - 0" 2'-6"X4'-0" DBL GLAZED 4' - 0" (2) 2'-0" DBL HNG CUSTOM CLEAR 3' - 6" 2' - 0" FIXED | 7' - 0" | 2'-6"X 4'-0" CSMT | 1 | LIVING ROOM CUSTOM CLEAR WOOD BRN SNGL 7'-0" 3'-6"X2'-0" FIXED 1 KITCHEN (1) 3'-0" FIXED WOOD 4'-0" CASEMENT CUSTOM CLEAR 7' - 0" | 2'-6"X 4'-0" CSMT | 1 | BEDROOM 1 2' - 6" | 4' - 0" | DOUBLE CUSTOM CLEAR WOOD BRN SNGL 7' - 0" 2'-6"X4'-0" DBL 1 KITCHEN WOOD BRN GLAZED 2' - 6" 4' - 0" DOUBLE CUSTOM CLEAR WOOD BRN SNGL 7'-0" 2'-6"X4'-0" DBL 1 KITCHEN GLAZED 3' - 6" | 4' - 0" | FIXED CUSTOM CLEAR WOOD BRN SNGL 7'-0" 3'-6"X4'-0" FIXED 1 KITCHEN 2' - 6" | 4' - 0" | DOUBLE |7' - 0" |2'-6"X4'-0" DBL | 1 |KITCHEN CUSTOM CLEAR WOOD BRN SNGL GLAZED 7' - 0" 2'-0"X 2'-0" TOP 1 LIVING ROOM 4' - 6" 5' - 0" DOUBLE CUSTOM CLEAR WOOD BRN SNGL GLAZED 2'-0"X 3'-0" BOT WOOD CUSTOM CLEAR WOOD BRN SNGL 7' - 0" | 2'-0"X 2'-0" TOP | 1 | LIVING ROOM 4' - 6" | 5' - 0" | DOUBLE GLAZED 2'-0"X 3'-0" BOT



ROBERT J TAVASCI A R C H I T E C T 3351 ORANGEWOOD AVE. LOS ALAMITOS, CA 90720 PH.: 562.843.1494



ING HEIGHTS, LLC

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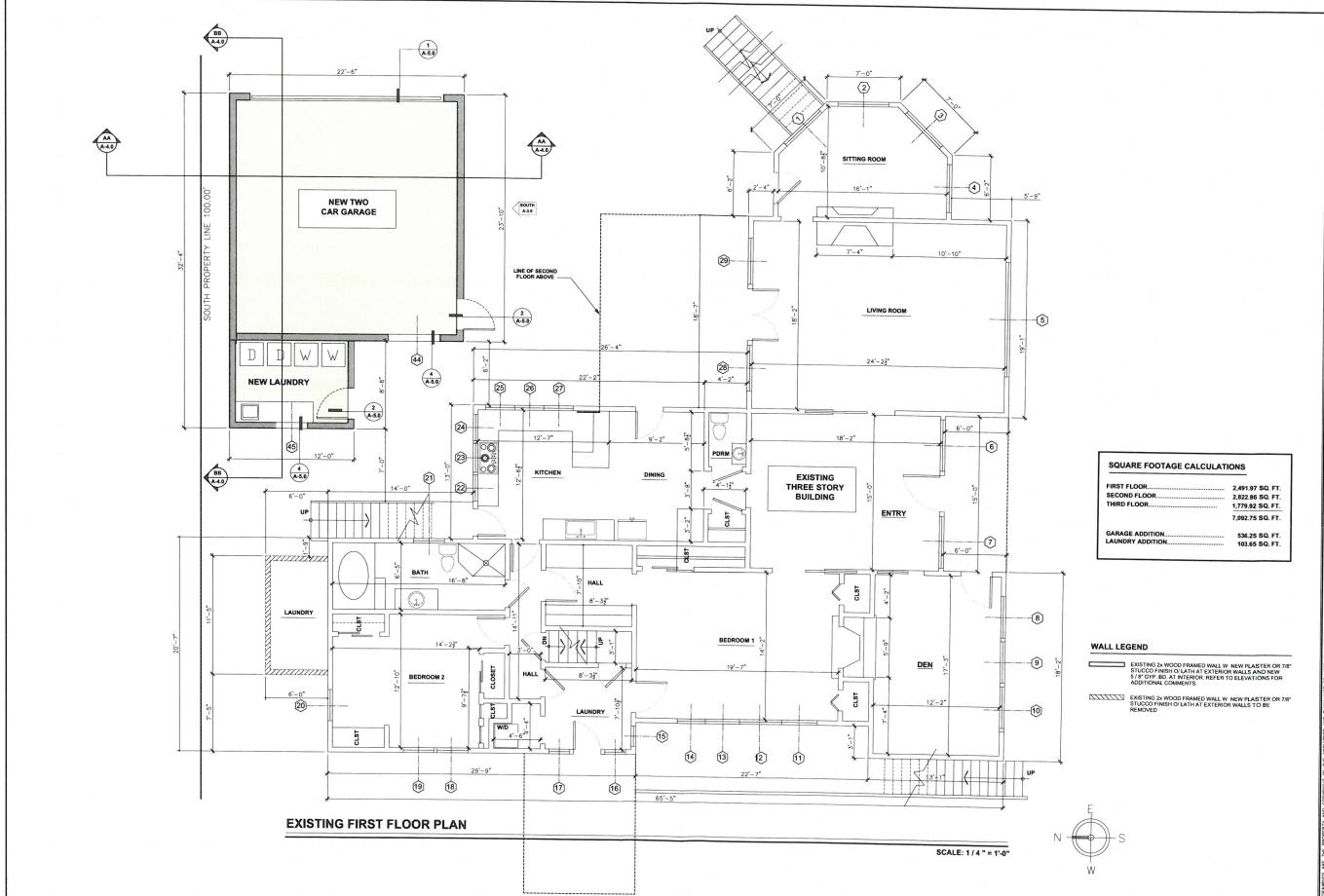
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SHEET TITLE:

EXISTING WEST EXTERIOR ELEVATION / WINDOW SCHEDULE

PROJECT NO	D :		204	4-14
DATE:	04	AF	PRIL	2017
DRAWN BY:				RJT
SCALE:				NTS
FILE NAME:	3065	Ε	OCE.	AN.dwg
SHEET NO:				

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No. C-20623 Tesp. 04/10/2015

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SUBDIVISION PROJECT
3065 OCEAN BLVD.
LONG BEACH, CA 90803

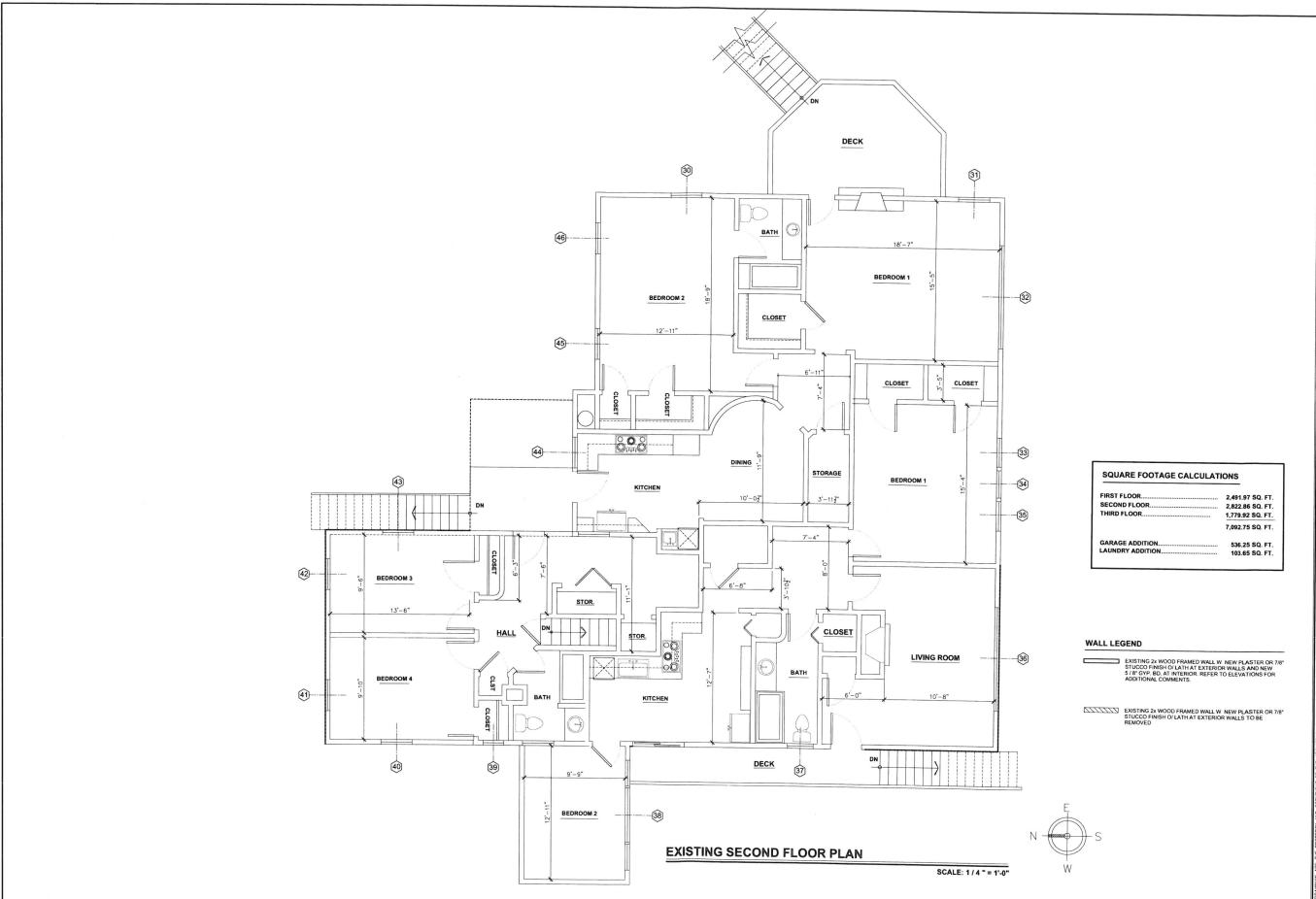
REVISIONS:

SHEET TITLE:

EXISTING FIRST FLOOR PLAN W/ NEW GARAGE

PROJECT NO: 2045-15
DATE: 26 JULY 2018
DRAWN BY: RJT
SCALE: AS NOTED
FILE: 3960 OCEAN FLIX PLANES SURDOVISION
SHEET NO.

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No. C-2083 Lap. 04/10/2015

WEATHERING HEIGHTS, LLC

SUBDIVISION PROJECT 3065 OCEAN BLVD. LONG BEACH, CA 90803

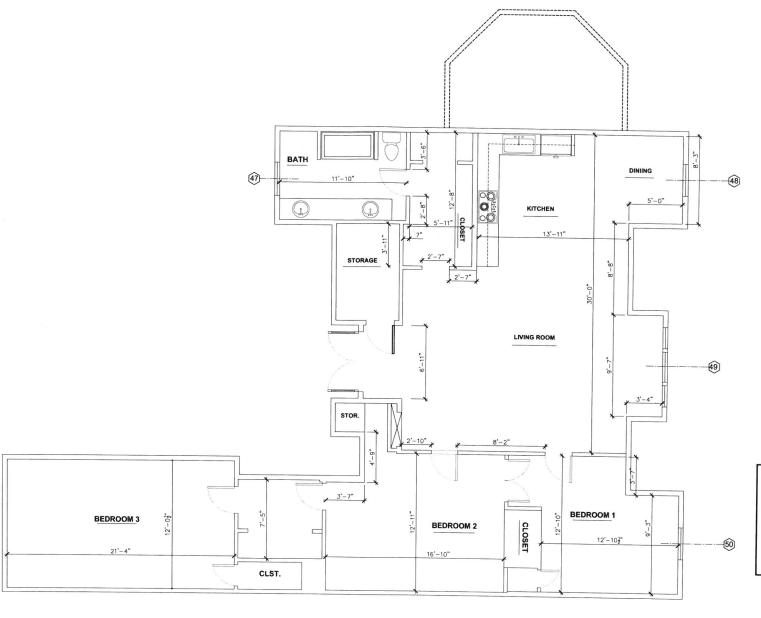
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SHEET TITLE: EXISTING SECOND FLOOR PLAN

26 JULY 201
RJT
AS NOTED
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FIRST FLOOR SECOND FLOOR THIRD FLOOR	2,491.97 SQ. FT 2,822.86 SQ. FT 1,779.92 SQ. FT
	7,092.75 SQ. FT.
GARAGE ADDITION	536.25 SQ. FT.
LAUNDRY ADDITION	103.65 SQ. FT

WALL LEGEND

EXISTING 2x WOOD FRAMED WALL W NEW PLASTER OR 7/8"
STUCCO FINISH O/LATH AT EXTERIOR WALLS AND NEW
5 /8" GVP BD. AT INTERIOR. REFER TO ELEVATIONS FOR
ADDITIONAL COMMENTS.



ROBERT J TAVASCI A R C H I T E C T 3361 ORANGEWOOD AVI LOS ALAMITOS, CA 90720



WEATHERING HEIGHTS, LLC

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SUBDIVISION PROJECT 3065 OCEAN BLVD. LONG BEACH, CA 90803

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REVISIONS:	

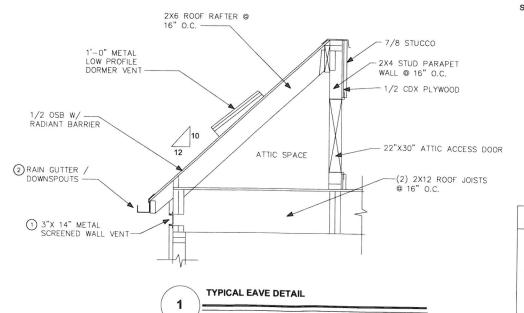
EXISTING THIRD FLOOR PLAN

PROJECT NO: 2045-15
DATE: 26 JULY 2018
DRAWN BY: RJT
SCALE: AS NOTED
FILE: 3693 OCEAN FUR PLANES SUBDOVISION
SHEET NO.

EXISTING THIRD FLOOR PLAN

SCALE: 1 / 4 " = 1'-0"

SCALE: 1/4" = 1'-0"



ROOF NOTES:

1. ROOFING:

"TIMBERLINE" PRESIDENTIAL STYLE ROOF SHINGLE -COLOR TBS FOR SLOPED ROOF AREA SARNAFIL WATERPROOF MEMBRANE ROOFING SYSTEM O/ 3/4 TAG BYWOOD 3/4 T&G PLYWOOD

PROVIDE REQUIRED ATTIC VENTILATION IN ALL ATTIC AREAS - 1,785 SQ. FT. OF ATTIC AREA X 1/150 = 11.90 SQ. FT. REQUIRED

50% OF VENTILATION PROVIDED BY DORMER VENTS. 3' ABOVE EAVE. (6 ROOF DORMER VENTS REQUIRED = 9.00 SQ.FT. > 5.95 SQ. FT. - 50% OF VENTILATION PROVIDED BY EAVE VENTS. 21 VENTS - 3" X 16" .33 SQ. FT. PER VENT. REQUIRED = 5.95 SQ.F. 7 SQ. FT. PROVIDED > 5.95 SQ. FT. WHICH EXCEEDS REQUIREMENT.

3. INSULATION:
PROVIDE AND INSTALL R-38 BATT INSULATION IN ANY NEW ATTIC
SPACES AND R-15 IN 2X4 STUD WALL SPACES / R-19 IN 2X6
STUD WALL SPACES AND IN RAISED FLOOR AREA, IF APPLICABLE.
AND ROOF SHEATHING
A MINIMUM OF 1 INCH AIR SPACE SHALL BE PROVIDED BETWEEN INSULATION

4. ROOF DIAPHRAGM:

USE 1/2" CDX PLYWOOD, PANEL INDEX (24/0), WITH 10d NAIL AT 6" O.C. SUPPORTED EDGES, BOUNDARIES & @ 12" O.C. FIELD (BLOCKED DIAPH. U.O.N.)

ROOF DIAPHROM NAILING TO BE INSPECTED BEFORE COVERING. FACE GRAIN OF PLYWOOD SHALL BE PERPENDICULAR TO SUPPORTS. (SEE SCHEDULE ON FRAMING PLAN)

5. CHIMNEYS:

CHIMNEYS SHAL HAVE SPARK ARRESTERS W/ 1/2" MAX. SCREEN OPENINGS. CHIMNEYS SHALL EXTEND 2' ABOVE ROOF OR WALL WITHIN 10 FEET.

6. SKYLIGHTS:

ALL NEW SKYLIGHTS SHALL BE VELUX SKY-LIGHTS WITH TYPE "L" FLASHING , FLAT DOUBLE CLEAR TEMPERED GLASS OR EQUAL. REFER TO SCHEDULES FOR ADDITIONAL NOTES.

ROOF PLAN KEY NOTES:

- 1) 3"X 14" METAL SCREENED WALL VENT
- METAL RAIN GUTTERS SQUARE DESIGN WITH COPPER ANCHORS AND DOWNSPOUT LEADER HEADS WITH SURFACE MOUNTED DOWNSPOUTS AND BRACKETS TYP. TO MATCH TO MATCH ROOF COLOR AND DESIGN
- 3

1'-0" DORMER VENT PROVIDES 1.5 SQ. FT. OF VENTILATION -11 TOTAL X 2.0 = 22.00 SQ. FT.

GENERAL NOTES:

- CONTRACTOR SHALL CONFIRM THAT ALL AREAS OF ROOF ARE PROVIDED WITH POSITIVE DRAINAGE
- 2. ROOF PENETRATIONS SHALL BE FLASHED PER BUILDING SPECIFICATIONS
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF SIZES AND LOCATIONS OF ROOF OPENINGS, PLATFORMS, BASES, LIGHTING, POWER, CONVENIENCE OUTLETS, ETC., WITH EQUIPMENT BEING SUPPLIED
- 4. ALL ROOFING MATERIALS TO BE INTALLED AS PER MANUFACTURER'S RECCOMENDATIONS AND SPECIFICATIONS.

ROOF NOTES:

(SEE ROOF SPECIFICATIONS ON SHEET A-2.1)

SHINGLE ROOFING SHALL BE: GAF "TIMBERLINE" GRAND SEQUOIA REFLECTOR SERIES CLASS A ASPHALT SHINGLES

ROOF COLOR: WEATHERED WOOD

ROOF NOTES:

(SEE ROOF SPECIFICATIONS ON SHEET A-2.1)

FLAT ROOF SHALL BE: SARNAFIL G410 ENERGYSMART ROOF MEMBRANE ROOF TYPE: (WHITE)

INITIAL REFLECTIVITY:
3 YEAR SOLAR REFLECTANCE:
INITIAL THERMAL EMITTANCE:
INITIAL SOLAR REFLECTIVE INDEX:
3 YEAR SOLAR REFLECTIVE INDEX:
3 YEAR SOLAR REFLECTANCE INDEX: - 0.90 - 0.86 - 104 - 85



LLC 3065 OCEAN BLVD. LONG BEACH, CA 90803 WEATHERING HEIGHTS,

SUBDIVISION PROJECT 3065 OCEAN BLVD. LONG BEACH, CA 90803

REVISIONS:

SHEET TITLE:

GARAGE / LAUNDRY **ROOF PLAN**

 PROJECT NO:
 2045-15

 DATE:
 26 JULY 2018

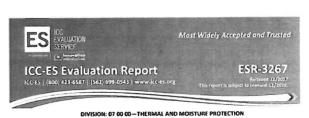
 DRAWN BY:
 RJT

 SCALE:
 AS NOTED

 FILE:
 3045 OCEAN FLR PLANS-3UBDIVISION
 SHEET NO.

A-2.0

ROOFING SHINGLE SPECIFICATIONS



SECTION: 07 31 13-ASPHALT SHINGLES

REPORT HOLDER

GAF

1 CAMPUS DRIVE

EVALUATION SUBJECT:

GAF SHINGLE ROOF COVERING SYSTEMS



"2014 Recipient of Prestigious Western States Seismic Policy Council (WSSPC) Award in Excellence"

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10/24/2015

GAF

ANS)

Grand Sequoia® IR Shingles Get Potential Insurance Savings And Extra Frarection For Your Most Valvable Asset! PRODUCT INFORMATION

PRODUCT INFORMATION SHEET

"Grand Sequice" IPI Stringles combine the look of rugged wind shakes with the protection of an impact-resistant stringle?"

- Grand Sequelat IR Bihingles . . . Provide an excellent prohibition of production, benuty, and protestal insurance saverys for year borne; Potential Insurance Savings . . Passes the U. 2218 Class 4 Preport Test, and may qualify for maranee discounts. Each sheeps is labeled with special information needed to qualify promitised indicards. Each profile in promitised indicards according to the temperature of the Texas Department of treasurance.
- Excellent Wind Performance . . . Meets ASTM D3161, Class F and ASTM 7156, Class H the highest wind ratings possible
- of up to 130 mph (209 km/h)* of up to 130 mpt; (200 km/h); Impact Resistant Passes UL 2218 Class 4 UL's loughest impact test (stringles show no evidence of cracks or ruptures on front or back of sharple immediately after impact); *Cempare to "standard" shringles which may have ruptures or excaks visible or the front or back of the shringle immediately.
- while providing assellent protection (year gal constags to learn more). Highest Fire Reting . . . Class A fire rating from Underwitters Laboratories. Stain/Quard? Protection . . . Helps protect the beauty of your roof from unsightly blue.

Procuration officion him, and the interfers in your reason amount and an artificial process of the process of t

- CVIDIS / MY ANTAROSETT :

 CCO, CRS. Ander Survel: Charcoal, Dukky Gray, and Weathered Wood.

 REGIONAL AVAILABILITY. Centrol and Southwest Areas, and in the following states in the West, MI. WY,
 CO, and MM.
 Resides by general order style Northwall, Budfewall and Review Taths on limit drive.

ROOFING MEMBRANE SPECIFICATIONS

SARNAFIL® G410 ENERGYSMART ROOF® MEMBRANE

__48__60 __72 __80__FELTBACK

Sarrall CASE Energy/man floor Membrane is a PKE thermoplastic membrane produced with an energy is fiberglass must recolorizement for excellent dimensional stability, in highly reflective, guaranteed for thickness, with Next weldable scans, and a unique longue country gooderfor the thing of the membrane screener of the pick up.

PRODUCT INFORMATION

Sarrafil G410 EnergySmart Roof Membrane is used in adhered application with various adhereves, over various substrates. BRIAS OF APPLICATION

EnergySmart Real

New Roofs
 Resports
 Handengs

- Escettrat dimensional stabilit

- CODES / APPROVALS FM Global
 Underwriters Laboratorie
 Underweiters Laboratorie
- Mizero-Dade County / Florida Building Code
 BNERGY STAR*
 California Title 24

PRODUCT DATA



APPLICABLE STANDARDS & PROTOCOLS

- Mismi-Dade County Product Control Approved 13-1104.10
- Florida Building Code Approved FL10124-R12 UL 997 modified to 110 mph
- ASTM D7150, Closs H . ASTM D3161, Class F
- Effective 7/1/08, existing NYC MEA's may be used but are no larger require:

PRODUCT/SYSTEM SPECIFICS:

- Bundes/Square 4
 Perces/Square 72
- Natts/Square. 360 (432 where 6 nots per stringle is required)*
- . StainGuard Protection Yes

• 66 mil [1 i mm] Membrana 10 in 30 ft reini, 300 ft sper reil, 8 mills per paler. 10 in 30 ft reini, 300 ft sper reil, 8 mills per paler. 10 in 30 ft reini, 300 ft sper reil, 1 reini par paler. 30 in 30 ft reini, 300 ft sper reil, 1 reini par paler. 30 in 30 ft helbusk reini, 33 ft sper reil, 5 reini par paler. 8 in 3 300 ft reili, 25 ft sper reil. 6 reini par paler. 7 72 ft sim 41 in 7, 26 mm) Membrana 1 73 ft sim 41 in 7, 26 mm) Membrana 5 in 3 sin 6 reini, 23 ft 7, 250 ft sper reil. 4 reini, per paler. 5 in 3 sin 6 reini, 23 ft 7, 250 ft sper reil. 4 reini, per paler. 5 in 3 sin 6 reini, 23 ft 7, 250 ft sper reil. 1 ft reini per paler. 10 in 3.0 ft seitusk rein. 3 ft 7, 250 ft sper reil. 1 ft reini per paler. 10 in 3.0 ft seitusk rein. 43 ft 7, 450 ft sper reil. 8 reini per paler. STORAGE CONDITIONS TECHNICAL DATA TYPICAL PHYSICAL PROPERTIES* ASIM ASIM Type II Test 0-4434 Spcc. Method Requirement Typical Results Overall Trickness, mil Thickness Over Scrim. Reinforcing Moterial Felt Weight, airlyd Malthars, manhall Felt Weight, oxfyd' [Feltbock membras only] Breshing Strength, B/fin (N) Breshing Strength, B/fin (N) Blongshin or Break, B. M. D. B. C. M. D. Seam Strength, B. of original' Retention of Proportios Aher Host Agrig Tensile Strength, B. of original Elongshin, B. of original Felthyling Benstlance, Br (N) Tearing Resistance, Br (N) 0751 75 D751 96 D751 96 D1904 30 (45) D2136 Pass Pass Pass Pass Pass Pass Pass Pass Pass 25 (67) 17.5 (78) 20.5 (01) 27 (92) Tearing Resistance, for 111/2 Low Temporature Bend, 40°F | 40°C) Accelerated Weathering Test, Hours Pass Pass Pass

• 45 mil (1.2 mm) Membrane*

10 h a 150 hr rolls, 454 lbs per roll, 8 rolls per paller 5 h x 150 hr rolls, 454 lbs per roll, 12 rolls per paller 5 h x 150 hr rolls, 237 lbs per roll, 12 rolls per paller 10 k x 100 h (Fetbuck rolls, 15) hs per roll, 9 rolls per paller 1 Made to order, minimum solume required, extended prod times, speak with 56a - Boothing sales Rep tor further info 150 mil (15) mm / Membrane

Static Puncture 8	lesistance, lb/ (kg	D5802	33 (15)	Pass	Pass	Pau	Paris
Dynamic Punctur ft lbf (I)	re Rosissance.	D5635	7.3 (10)	Patr	Past	Past	1-1-1-1
Recycled Content * Browlin may differ by		1 - 1	*	93 Pre r	abetia more	TW Book	contumer
	p manda any naptura	per sear rangey					
tnergy5mart Colors	PHITIAL SCLAR	3-YEAR SOLAR	BRITIAL	3-YEAR THERMAL	PEFLEC		
EnergySmart Cokors	1				RIFLIC	TANCE	RULLCIANCE
EnergySmart	PHITIAL SCLAR	3-YEAR SOLAR	THURSMAL	THERMAL		TÁNCI EX	
EnergySmart Colors EnergySmart	DUTIAL SCLAR BEFLECTANCE	3-YEAR SOLAR REFLECTANCE	THERMAL EMITTANCE	THERMAL EMITTANCE	mruc	TÁNCI EX H	

Sider Reflectance testing according to	III ASTM C3540
Thermal Emittance secting according	to ASTM CANTL Study Mercura
* EvergySmart White and EnargySmar	The magnificance sense \$100 to 10 to 10 to

mile one meets LEED, Green Clicken, and EakStrack's Fishe 24 critisms for Love and Sinney Sincer applications

SYSTEM INFORMATION APPLICATION INSTRUCTIONS

Servallo GATO (nergy/smart is initialled after proper preparation of the approved substrate, the membrane is writing into Sarakol adherior in accordance with Sala I schooling requirements and their proposed ethic place, with a minimum IOO to 16 kg/t seel rober. Sarakol GATO Emergishani seams are had senified tippetive by threed operation units that all visitions are not an extra serval and substrated approximation of the seeding methods. Place recommendations of proposed substrates and place of the seeding methods. Place recommendations of place in Knothool for detailed intertailing proportions.

AVAILABILITY From Sika Authorized Applicators when used within Sarnafii rooling and waterproofing systems. Standard maintenance of roofs should include regular inspection of flashings drains and termination seplants at least twice a year and after each storm Upon successful completion of the installed roof by the Sika Authorized Applicator, Sika Corporation will provide a warranty to the Building Owne via the Sika Authorized Applicator.

- ASTM D3018, Type 1 ASTM 03463 ICC ESR-1475, ESR-3267
- - Texas Department of Insurance CSA A123.5
- . Ut. 2218 (Hoi) Class 4

- Dimensions (approx.) 17' x 40' (432 x 1016 mm)
 Exposure 5' (127 mm)

¹⁵ Replier to correpted published includation instructions.
⁸⁵ Repulsed by some basis scales and required to enhanced west coverage on century products.

INSTALLATION

Detailed installation instructions are provided on the enode of exich bundle wrapper of Grand Sequole* (R Shingles Installation instructions may also be obtained at even but (2011)

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ROOFING NOTES:

- CLASS 'A' COMPOSITION HIGH CUALITY, "SARNAFIL" G410 PVC ROOF MEMBRANE LARR # 24852
 ALL NEW CRICKETS SHALL SLOPE MINIMUM # "PER FOOT.

 1. PARAPET DIMENSIONS ARE SHOWN FROM FACE OF FINISH UND. 2. G.C. TO VERIFY ALL DEMENSIONS AND CONTACT ARCHITECT IF ANY DISCREPANCIES EXIST, PRIOR TO COMMENCING WORK.
- 3. G.C. TO ASSURE ROOF INSTALLATION AND ALL PENETRATIONS TO BE FULLY WEATHERTIGHT.
- 4. ROOFING TO COMPLY WITH UBC STANDARDS 15-4 AND SHALL BE INSTALLED IN ACCORDANCE WITH TABLE 15-8-2. (R902-1) 5. INSTALLED ROOFING OVER MINIMUM 308 UNDERLAYMENT.
- THE QUALITY AND DESIGN OF ROOFING MATERIALS AND THEIR FASTENING DEVICES SHALL CONFORM TO THE APPLICABLE STANDARDS LISTED IN CHAPTER 35, PART II (1507.1)
- 7. ALL MATERIALS SHALL BE DELIVERED IN PACKAGES BEARING THE MANUFACTURERS LABEL OR IDENTIFYING MARK.
- THE ROOFING INSTALLER SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE WATERPROOF INSTALLATION INCLUDING ALL NECESSARY FLASHING, CAPS, PIPE JACKS, OPENING PROTECTION AND SEALANTS. ALL ROOFING SHALL COMPLY WITH NRCA STANDARDS AND USC CHAPTER 13. 9. VERIFY THAT ALL AREAS HAVE A POSITIVE $\draw{1}{2}$ PER FOOT MIN, ROOF DRAINAGE PRIOR TO INSTALLATION.
- 10. DOWNSPOUTS ARE SIZED EITHER FOR UPC CODE AVERAGE 6" / HOUR RAINFALL OR MINIMUM 8" INTERIOR DIA. WHICHEVER IS GREATER. 11. PROVIDE PLYWOOD OR FELT CRICKETS AS REQUIRED TO MAINTAIN ∳ PER FOOT DRAINAGE AT EQUIPMENT PADS AND ROOF HATCH.
- 12. INSTALL ROOFING MATERIAL AS SOON AS POSSIBLE AFTER INSTALLATION OF METAL ROOF DECK TO MINMIZE EXPOSURE OF THE DECK TO MOISTURE SOURCES.
- ALL EXPOSED ROOF METAL AND VENTS SHALL BE PRIMED AND PREPARED FOR PAINT FINISH. PAINT SHALL MATCH EXTERIOR WALL COLOR PER EXTERIOR FINISH SCHEDULE. 14. ALL/ANY ROOF PENETRATIONS SHALL BE MINIMUM 18" AWAY FROM AIR CONDITIONING UNITS AND A MINIMUM 18" FROM OTHER PENETRATIONS.
- 15. VENTS THROUGH ROOF SHALL BE INSTALLED 10°-0° FROM & TERMINATED 3°-0° ABOVE ANY FRESH AIR INTAKES.
- 16. OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPE OR OTHERWISE SEALED TO LIMIT INFILTRATION AND EXFILTRATION.
- 17. CONTRACTOR SHALL VERIFY THAT ALL GAS LINES CONDENSATION AND CONDUIT LINES SHALL NOT EXTEND ABOVE ROOF SURFACES. 18. LEAD FLASHING SHALL BE USED AT ALL ROOF AND OVERFLOW DRAIN PENETRATIONS.
- MATERIAL USED FOR ROOF SHEATHING: WOOD STRUCTURAL PANELS USED FOR ROOF SHEATHING SHALL BE BONDED BY INTERMEDIATE OR EXTERIOR GLUE. (CBC 2320.12.9)
- 20. THE ROOF SHEATHING SHALL INCLUDE A RADIANT BARRIER



ROBERT J TAVASCI ARCHITECT LOS ALAMITOS, CA



C

3065 OCEAN BLVD. 4G BEACH, CA 90803 HEIGHTS, WEATHERING

PROJECT OCEAN BLVD. EACH, CA 90803 ISION BDIVI

BEACH,

LONG

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SHEET TITLE:

PROJECT NO: 2045-15

DATE: 26 JULY 2018

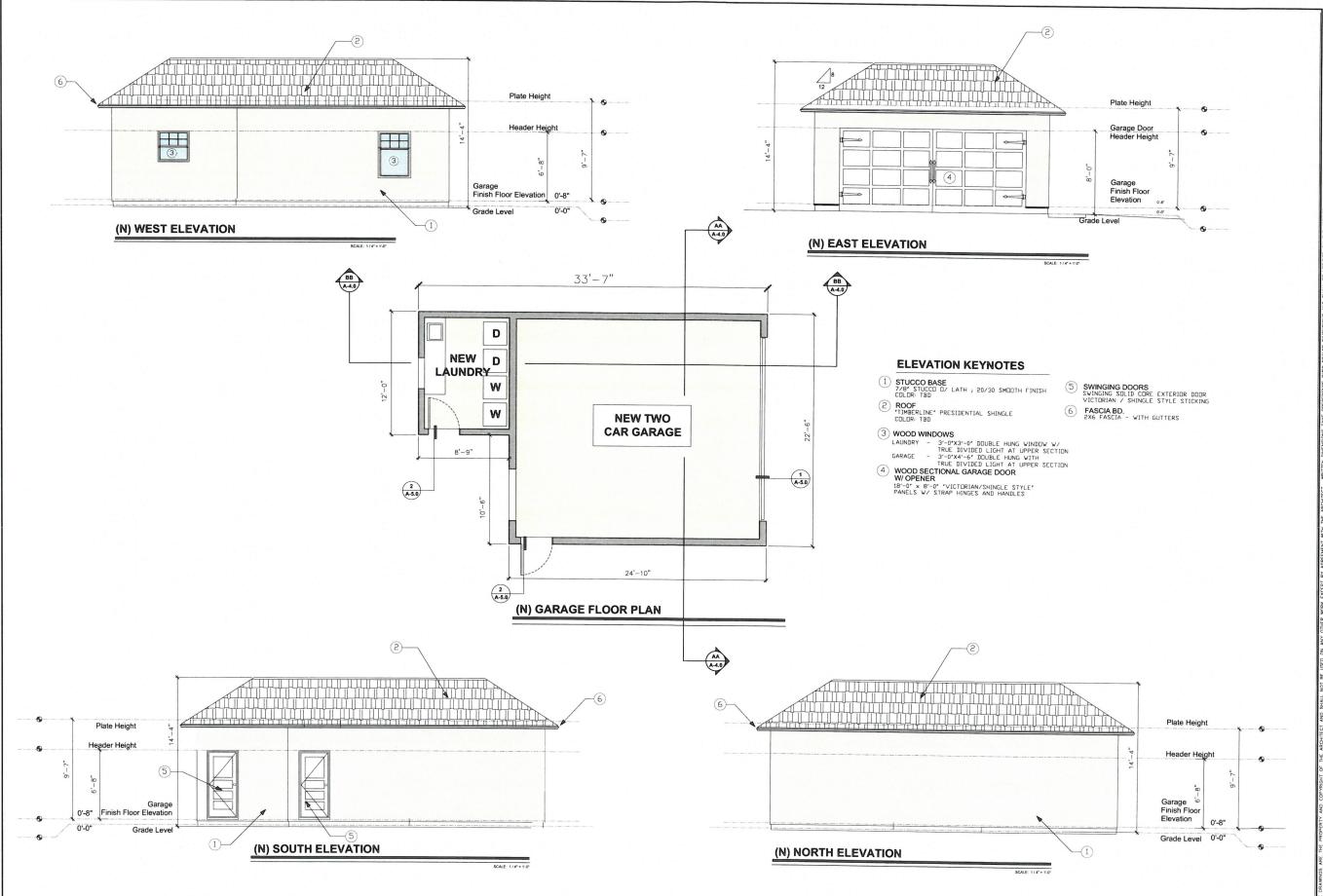
DRAWN BY: RJT

SCALE: AS NOTED

FILE: 3065 OCEAN FLR PLANS-SUBDIVISION

SPECIFICATIONS

A-2.1





ROBERT J TAVASCI A R C H I T E C T 3351 ORANGEWOOD AVI LOS ALAMITOS, CA 90720



WEATHERING HEIGHTS, LLC 3065 OCEAN BLVD. LONG BEACH, CA 90803

SUBDIVISION PROJECT 3065 OCEAN BLVD. LONG BEACH, CA 90803

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REVISIONS:	
SHEET TITLE:	

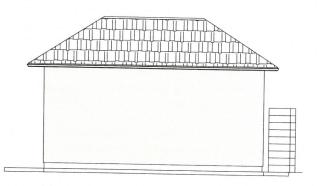
NEW GARAGE FLOOR PLAN / EXTERIOR ELEVATIONS

PROJECT NO:	2045-15
DATE:	26 JULY 2018
DRAWN BY:	RJT
SCALE:	AS NOTED
FILE: 3065 OCEAN F	LR PLANS-SUBDIVISION

A-3.0

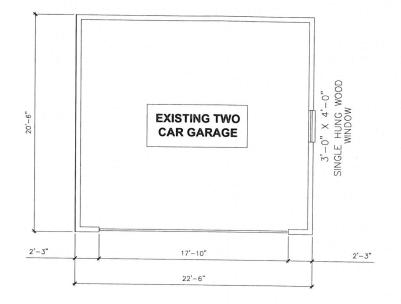
(E) EAST ELEVATION

SCALE: 1 / 4 " = 1'-0"



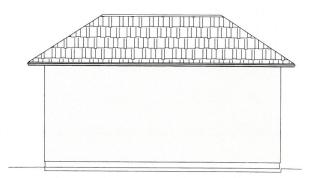
(E) NORTH ELEVATION

SCALE: 1 / 4 " = 1'-0"



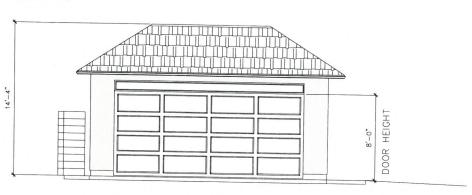
(E) GARAGE FLOOR PLAN

SCALE: 1 / 4 " = 1'-0"



(E) WEST ELEVATION

SCALE: 1 / 4 " = 1'-0"



(E) SOUTH ELEVATION

SCALE: 1 / 4 " = 1'-0"



ROBERT J TAVASCI A R C H I T E C T 3351 ORANGEWOOD AVI LOS ALAMITOS, CA 90720



WEATHERING HEIGHTS, LLC 3065 OCEAN BLVD. LONG BEACH, CA 90803

SUBDIVISION PROJECT 3065 OCEAN BLVD. LONG BEACH, CA 90803

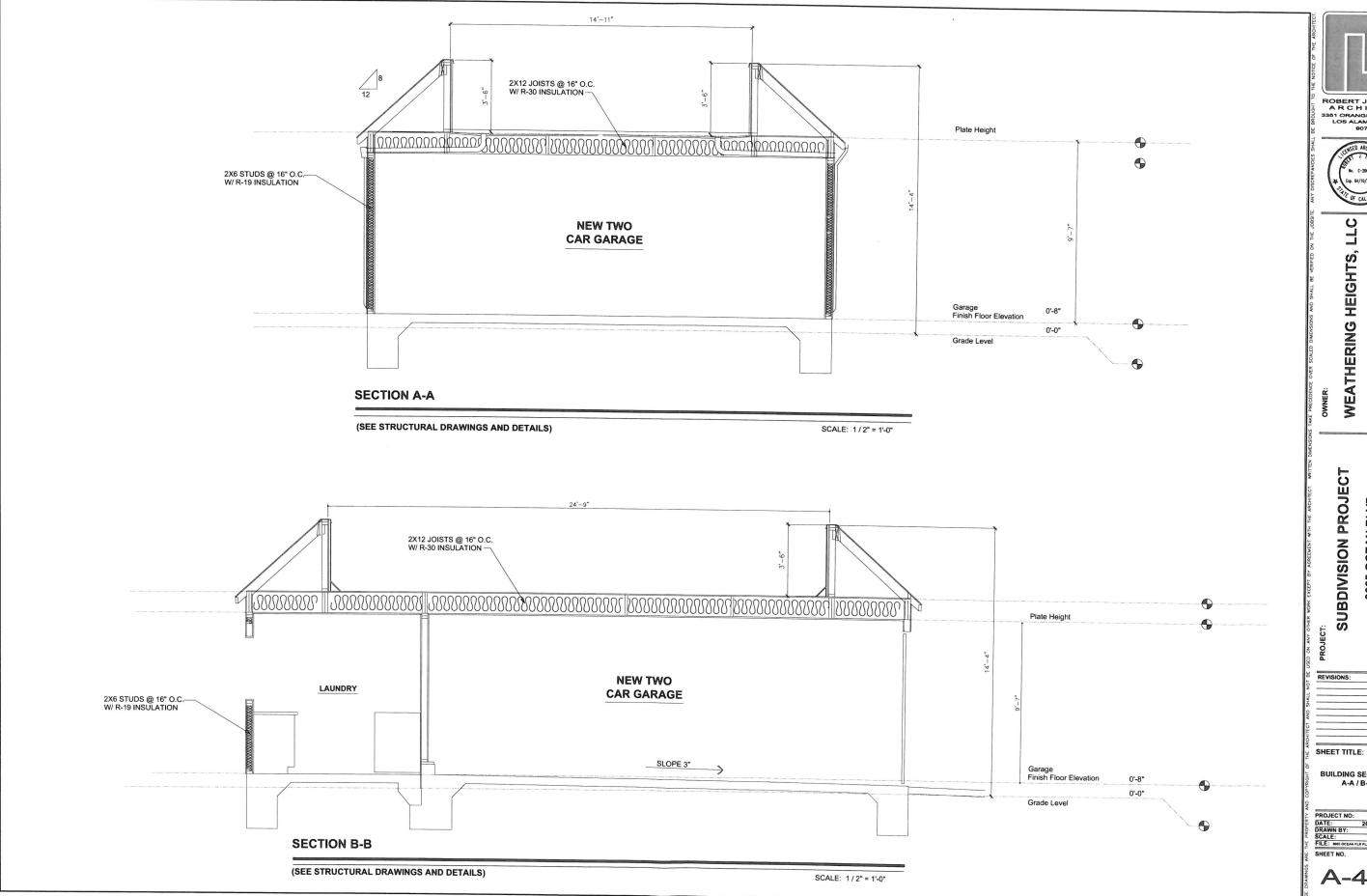
ROJECT:

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REVISIONS:	
9 DEC 2018	
SHEET TITLE:	

EXISTING FLOOR PLAN OF GARAGE TO BE REMOVED / EXTERIOR ELEVATIONS

≥	PROJECT NO:	2045-15	
	DATE:	26 JULY 2018	
	DRAWN BY:	RJT	
ă.	SCALE:	AS NOTED	
뽀	FILE: 3065 OCEAN FLR PLANS-SUBDIVISION		
щ	SHEET NO.		

A-3.1







WEATHERING HEIGHTS, 3065 OCEAN BLVD. LONG BEACH, CA 90803

SUBDIVISION PROJECT 3065 OCEAN BLVD. LONG BEACH, CA 90803

BUILDING SECTIONS A-A / B-B

 PROJECT NO:
 2045-15

 DATE:
 26 JULY 2018

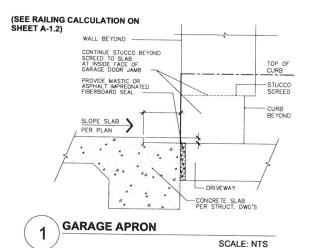
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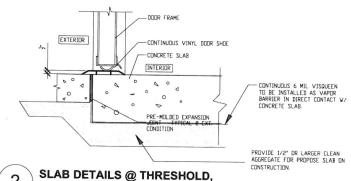
 SCALE:
 AS NOTED

 FILE:
 3045 OCEAN FLR PLANS-SUBDIVISION

A-4.0

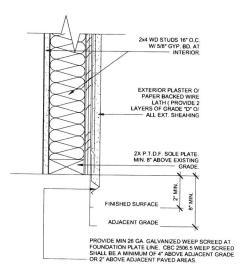
4 WINDOW / DOOR FLASHING DETAILS





VAPOR BARRIER AND AGGREGATE

SCALE: NTS



3 STUCCO SCREED DETAIL
SCALE: NTS



ROBERT J TAVASO A R C H I T E C T 3351 ORANGEWOOD AV LOS ALAMITOS, CA



No. C-20623

Eup. 04/10/2015

OF CALLION

WEATHERING HEIGHTS, L 3065 OCEAN BLVD. LONG BEACH, CA 90803

SUBDIVISION PROJECT 3065 OCEAN BLVD. LONG BEACH, CA 90803

PROJECT:

REVISIONS:

DETAILS

CT NO: 20

PROJECT NO: 2045-15
DATE: 26 JULY 2018
DRAWN BY: RJT
SCALE: AS NOTED
FILE: 3060 CCEAN FLAR PLANK-SUBDIVISION
SHEET NO.

A-5.0