

CITY OF LONG BEACH

DEPARTMENT OF DEVELOPMENT SERVICES

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December 6, 2018

CHAIR AND PLANNING COMMISSIONERS
City of Long Beach
California

RECOMMENDATION:

Accept Categorical Exemption (CE18-212) and approve a Tentative Parcel Map (TPM18-002) and Local Coastal Development Permit (LCDP18-031) to subdivide an existing 15,000-square-foot parcel into two separate lots; Parcel 1 – an 8,500-square-foot lot, and Parcel 2 – a 6,500-square-foot lot, located at 29 Kennebec Avenue in the R-3-S zoning district. (District 3)

APPLICANT: Ramin Favakehi
2355 Pieper Lane
Tustin, CA 92782
(Application 1809-06/TPM18-002, LCDP18-031)

DISCUSSION

The subject site is located at 29 Kennebec Avenue, on the southwest corner of Kennebec Avenue and East 1st Street (Exhibit A – Location Map). The site consists of a 150' x 100' (15,000-square-foot) parcel located within the Three-Family Residential, Small Lot (R-3-S) zoning district. The site is within the City's permit jurisdiction in the Coastal Zone and is in the Bluff Park Historic District. The General Plan designation for this area is Land Use District No. 4 – High-Density Residential.

The site is developed with a two-story duplex structure and a detached two-car garage with a dwelling unit above. The existing improvements are designated as contributing structures within the Bluff Park Historic district. However, there are no proposed changes to the existing structures, or any new site development as part of this application, and therefore a Certificate of Appropriateness from the Cultural Heritage Commission is not required at this time. The applicant is requesting approval of Tentative Parcel Map No. 82376 to subdivide the property to create two parcels, and a Local Coastal Development Permit for the subdivision (Exhibit B – Tentative Parcel Map). In accordance with the Subdivision Map Act, a Tentative Parcel Map is required for the division of land and is reviewed to ensure the orderly development of land with consideration for their relation to adjoining areas. The purpose of the Local Coastal Development Permit is to ensure the proposed subdivision is consistent with the City's certified Local Coastal Program.

The requested subdivision would result in two separate parcels: Lot 1 – an 85' X 100' (8,500 square feet) parcel, and Lot 2 – a 65' X 100' (6,500 square feet) parcel. After the subdivision, both lots would meet the required minimum standards for lot size (6,300 square feet) and width (50 feet). Lot 1 would result in an undeveloped parcel. Lot 2, which would contain the existing improvements, is consistent with applicable development standards for newly created parcels in the R-3-S zoning district notwithstanding existing setbacks to the south and west of the existing permitted improvements. No non-conformities will be created as part of the proposed subdivision. The subdivided parcels will also be consistent with the existing development pattern of the block. The existing 62 lots on the block fall within three general sizes—5,000 sq. ft., 8,000, sq. ft., and 15,000 sq. ft. as shown on Figure 1. Approximately 46% of the lots are in the median range of approximately 8,200 sq. ft. as shown on Figure 1.

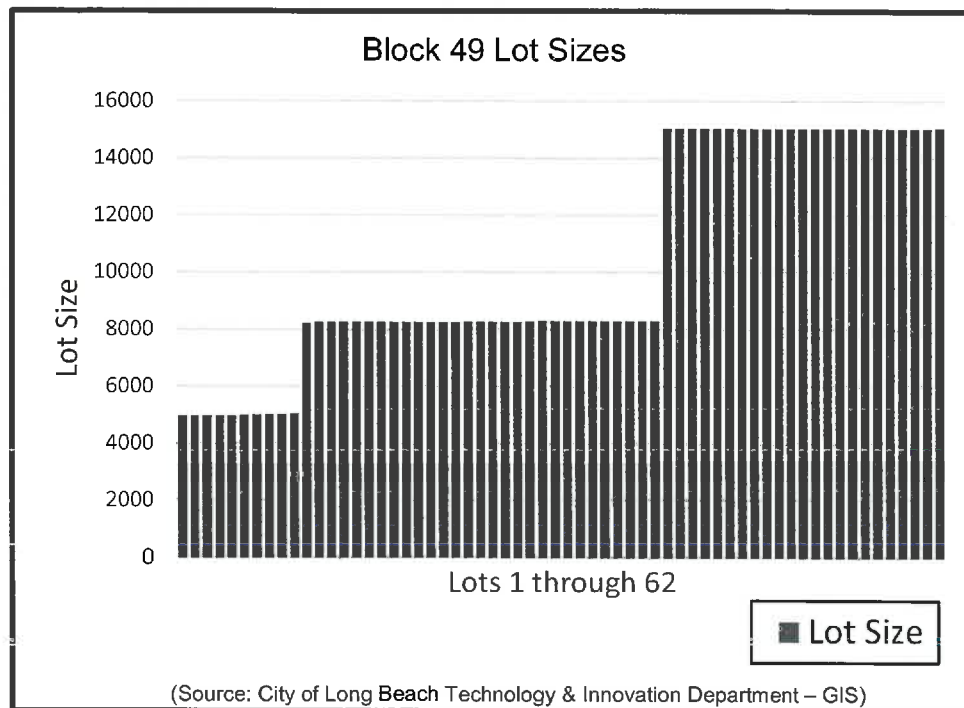


Figure 1

Standard of Review

The matter before the Planning Commission is exclusively the subdivision of a single lot into two lots. Any future development of the new lot will fall below the Planning

Commission threshold for review and will instead be reviewed by staff and the Cultural Heritage Commission due to the location within a historic landmark district. In evaluating a request for a subdivision, the Planning Commission's discretion is limited to the findings found in the state Subdivision Map Act. These findings relate to General Plan and code compliance, physical suitability of the site for development, environmental damage, public health and legal land restrictions such as easements.

This particular site is located within the Coastal Zone. All projects which require another discretionary action, in this case the Parcel Map, require an accompanying Local Coastal Development Permit (LCDP). The standard of review on the LCDP is also limited, in this case to compliance with the certified Local Coastal Program (LCP), any impacts on existing low-income housing and any impacts to public-access to the coast.

PUBLIC OUTREACH

Staff encourages all applicants to conduct a public outreach and engagement process prior to the formal entitlement process for their proposals. In this case the subject site is of an elevated level of interest to the neighborhood association and other stakeholders. The applicant conducted two outreach meetings with the Bluff Park Neighborhood Association (BPNA) and a briefing with the 3rd District Council office. The applicant reported that the feedback provided from the outreach effort was with respect to the overall design concept of future development and no specific objections regarding a subdivision were identified.

RECOMMENDATION

Staff recommends that the Planning Commission approve the Local Coastal Development Permit and Tentative Parcel Map subject to conditions of approval. (Exhibit C – Findings and Conditions of Approval)

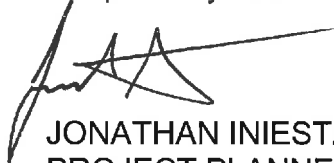
PUBLIC HEARING NOTICE

A total of 796 public hearing notices were distributed on November 19, 2018, in accordance with the provision of the Zoning Ordinance. No public comments have been received as of the preparation of this report.

ENVIRONMENTAL REVIEW

In accordance with the Guidelines for Implementation of the California Environmental Quality Act (CEQA), this project is exempt from CEQA per Section 15315. Categorical Exemption CE18-212 was issued for the proposed project.

Respectfully submitted,



JONATHAN INIESTA
PROJECT PLANNER



ALEXIS OROPEZA
SENIOR PLANNER



CHRISTOPHER KOONTZ, AICP
PLANNING BUREAU MANAGER



LINDA F. TATUM, FAICP
DIRECTOR OF DEVELOPMENT SERVICES

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Attachments: Exhibit A – Location Map
 Exhibit B – Tentative Parcel Map
 Exhibit C – Findings & Conditions of Approval