



# **Study Session**

## **3065 East Ocean Blvd.**

**First Study Session July 14, 2014**

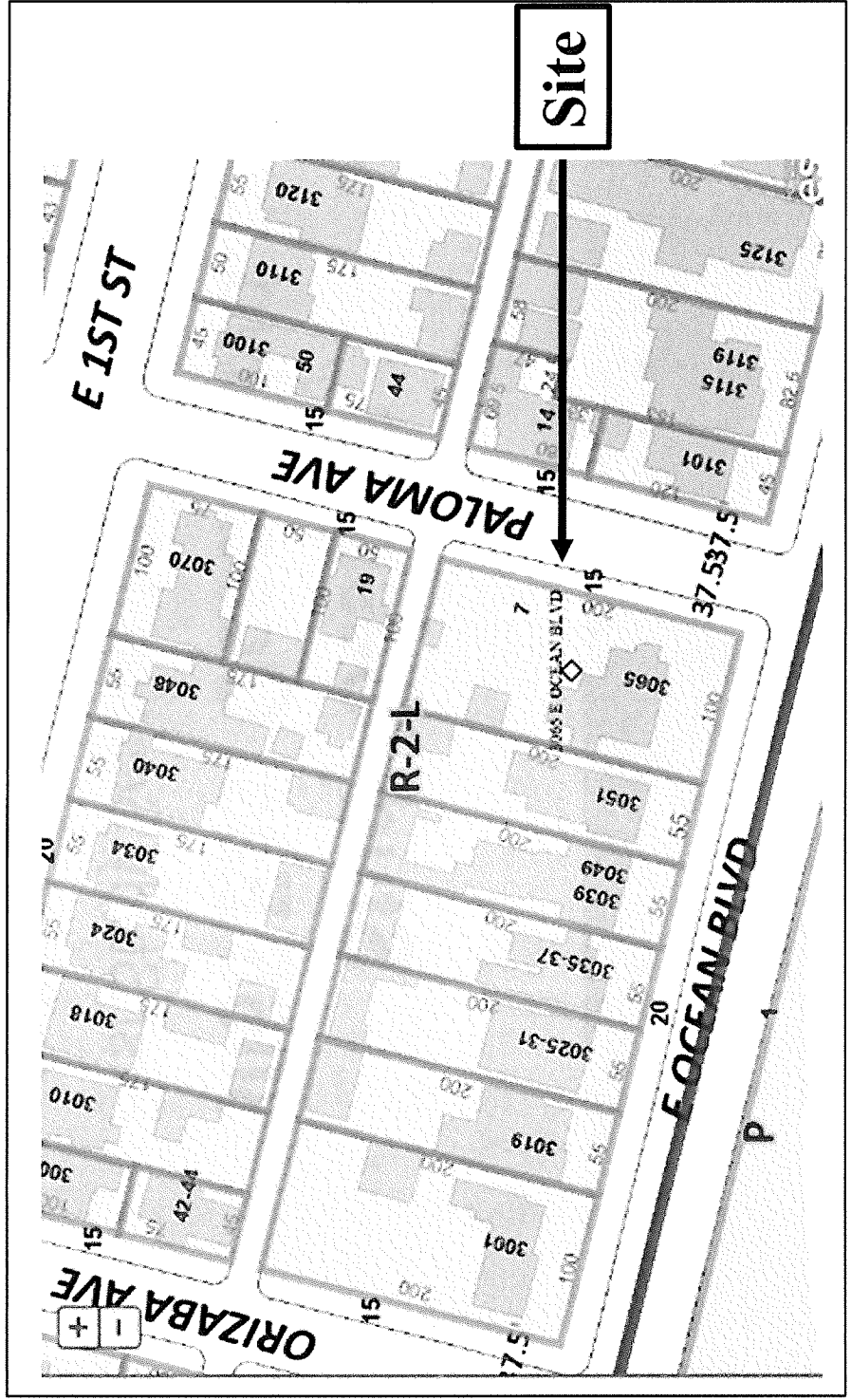
**Cultural Heritage Commission**

**August 8, 2016**

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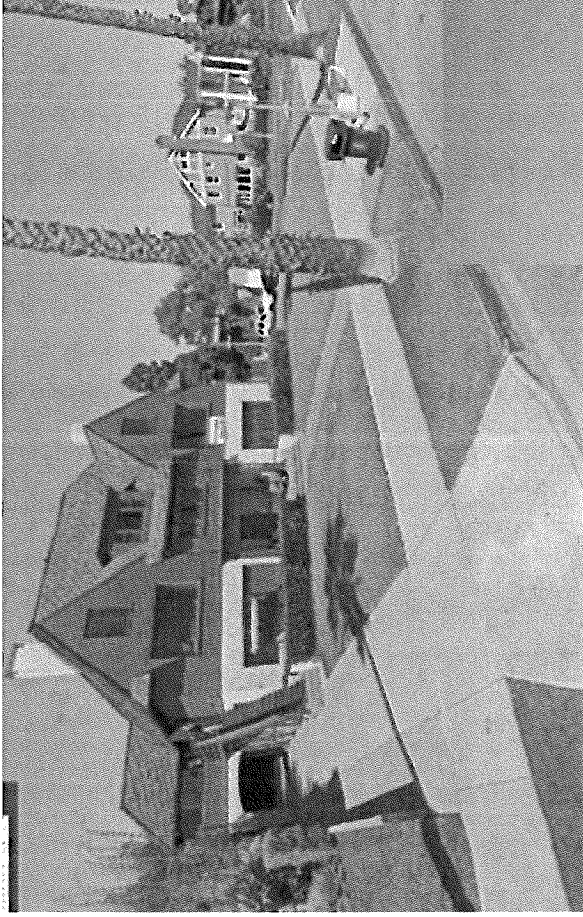


# Area Zoning – R-2-L



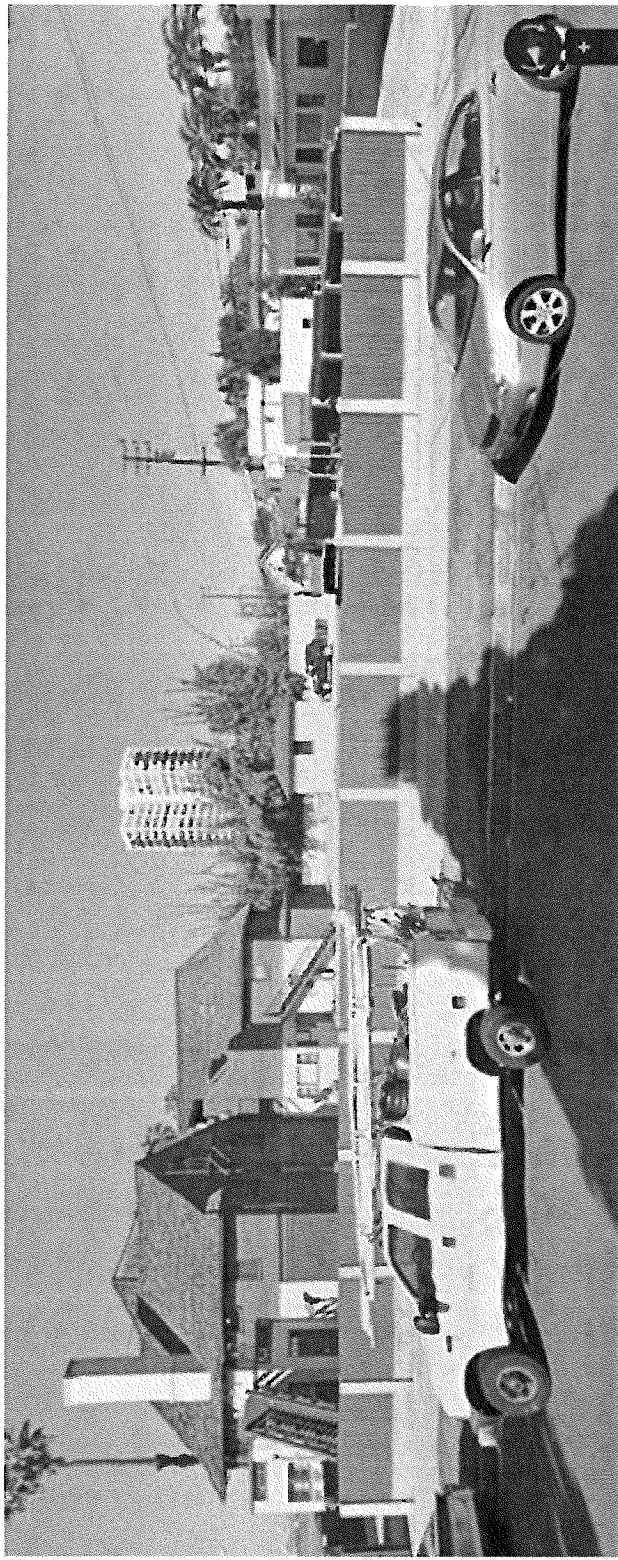


## Site Photograph – Front Elevation





**Site Photograph - Side Elevation**





# Aerial View



## Background – CHC Study Session Comments June 14, 2014

- Allow one unit to be built on the new lot.
- The existing driveway and drive-thru carport structure shall be maintained on the west elevation of the existing residence.
- The unit count shall be verified for the existing structure.
- If feasible, the staircase on the existing structure shall be removed.
- The location of the garage and permit history shall be researched. According to the Sanborn maps from 1914 and 1949 the existing two car garage has been in the same location since 1914. City tax records also indicate a 440 square foot two car garage has been at this location since approximately 1920; however, the garage and house do not visually relate today.
- If the garage is relocated to Paloma Avenue the garage roof height shall be substantially reduced to minimize its visibility and profile. The garage setback from the street shall be increased although the new garage and existing residence shall not be connected.



## Background - Continued

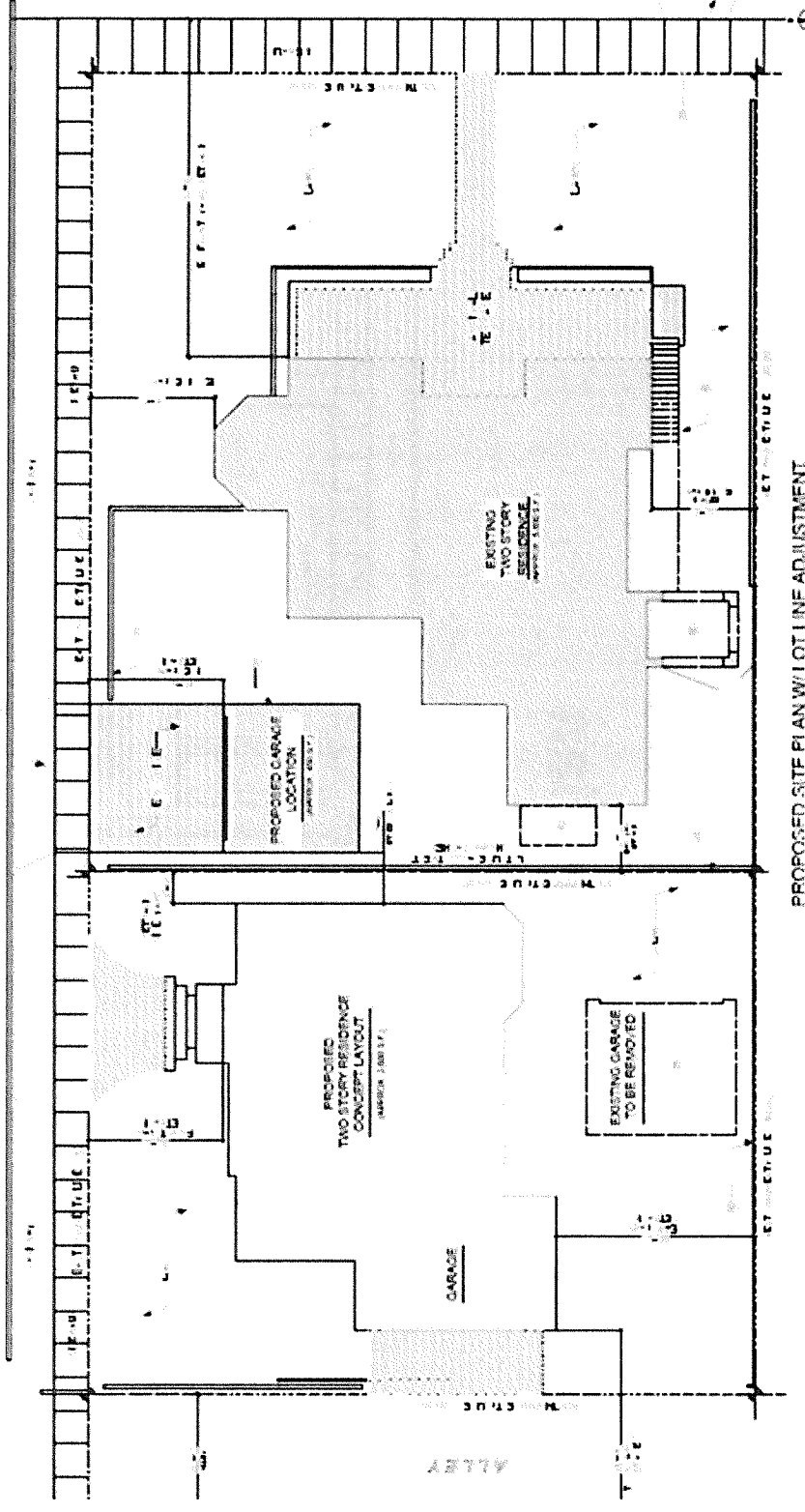
- The architectural style of the new residence shall not replicate the existing architectural style of the existing residence. A Spanish/Mediterranean style is recommended although Craftsman or other compatible design may also be appropriate.
- The footprint of the new house is to large and wide.
- The garage for the new house shall be detached with alley access.
- A ribbon driveway is recommended for the new garage off Paloma Avenue.
- The new home shall be moved away from the new south side property line to provide a greater separation between the two homes.
- The new home on Paloma Avenue shall take vehicle access from the alley.







# 2014 Proposed Site Plan

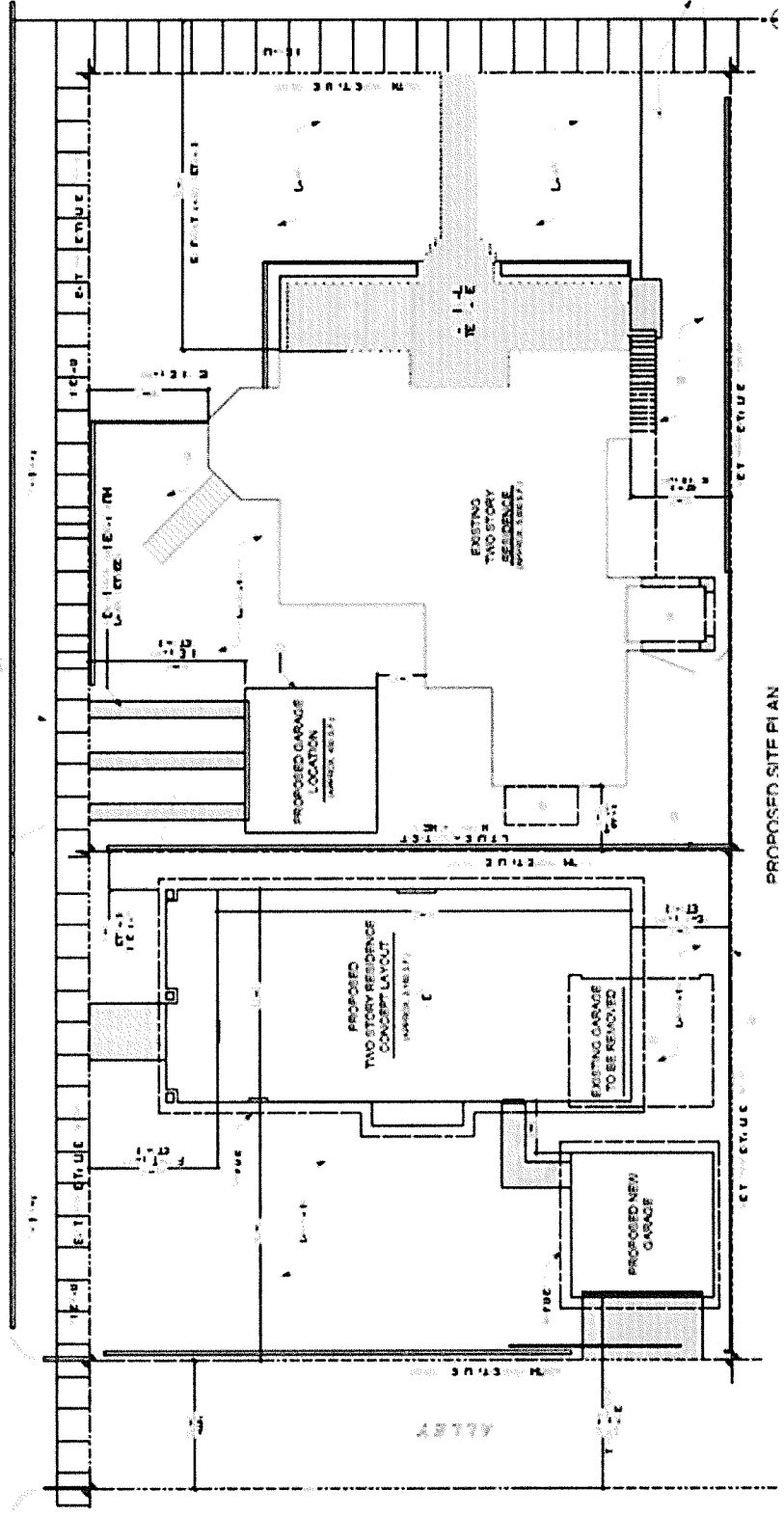


PROPOSED SITE PLAN WITH LOT LINE ADJUSTMENT



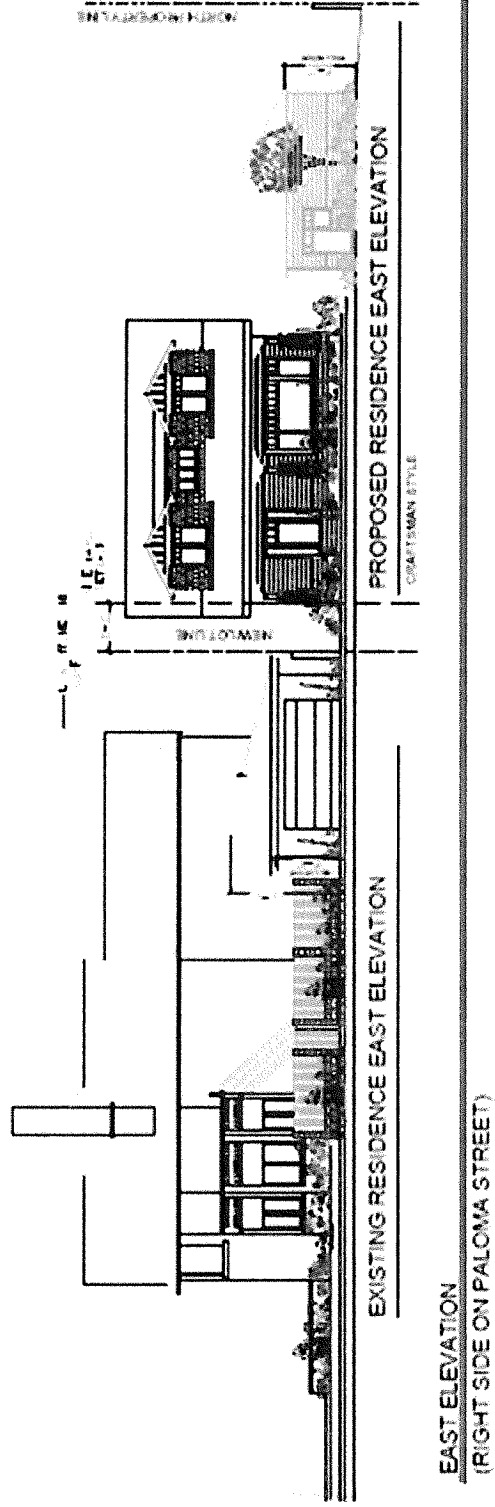
# 2016 - Proposed Site Plan

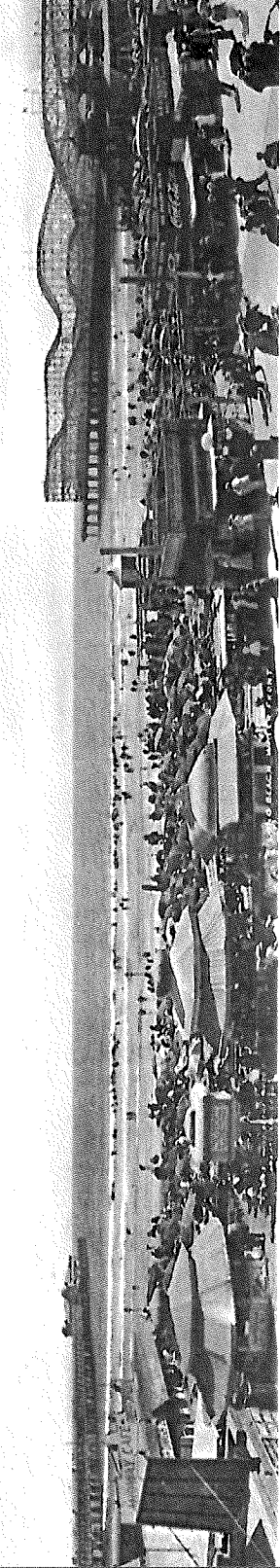
PAIDWA AVE





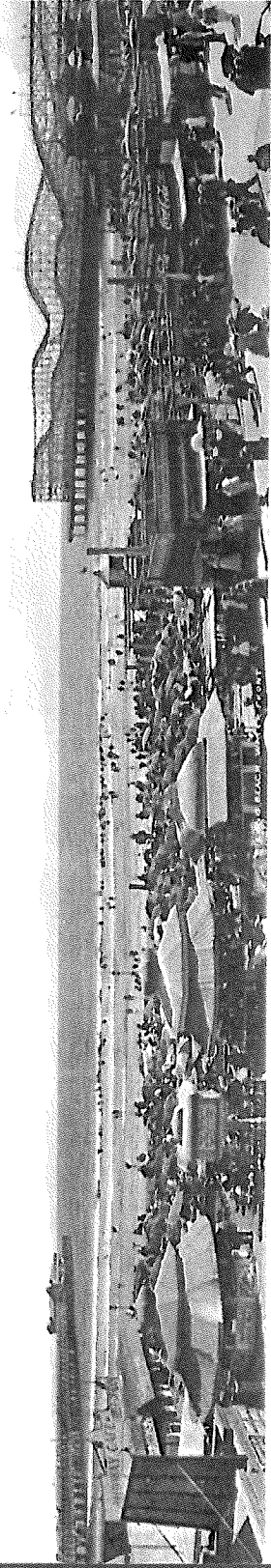
# Proposed Elevation Plan





## Changes to Plan

- Lot sizes: 12,000 sq. ft. for the existing structure and 8,000 sq. ft. for the new lot. The R-2-L zone has a minimum lot area of 8,000 sq. ft.
- The garage for the new home will be detached with alley access.
- The garage for 3065 E Ocean Blvd. will be relocated to Paloma Avenue. This garage is proposed at 450 sq. ft. with a 24'5" setback from the street. The original driveway and carport on the west elevation will be maintained although the curb cut will be closed. One curb cut is permitted per site for a site width up to 120 feet. - ~~George recommends low pitch hip roof~~ <sup>with stone columns</sup> - ~~Perkins~~ <sup>Speltt recommends low pitch hip roof</sup>
- The architecture style has been changed to Craftsman although a separate Certificate of Appropriateness approved by the Commission is required for the new home.
- The width and size of the new home has been reduced from 54 feet wide and 3,600 sq. ft. to 33 feet wide and 3,160 sq. ft. in area.



## Changes to Plan - Continued

- The south side yard setback has been increased from five to six feet.
- The unit count for the existing residence is four. There are permits for the staircase on the east elevation and the staircase to the third floor unit. There is one unit on the first floor, two on the second floor and one unit on the third floor.



## Entitlements Required

- Subdivision Map and Local Coastal Development Permit to subdivide one lot into two lots.
- Certificate of Appropriateness to relocate the garage for 3065 E Ocean Blvd.
- Certificate of Appropriateness to construct a new home on the newly created lot on Paloma Avenue.