



Study Session

Item 1

Date: July 14, 2014
To: Chair and Cultural Heritage Commissioners
From: Steve Gerhardt, Acting Planning Officer *SG*
Subject: 3065 East Ocean Blvd. "Weathering Heights" (Bluff Park Historic District)

A Certificate of Appropriateness application, HP14-145, has been submitted to construct a new two story single family home with attached garage accessed from the alley in conjunction with a request for a Lot Line Adjustment and Local Coastal Development Permit at 3065 East Ocean Boulevard. The request for a lot line adjustment is to reorient the lot line from north/south to east/west in order to allow construction of a new home. The existing 20,000 square foot lot (100'x200') is located at the northwest corner of Ocean Boulevard and Paloma Avenue. Site improvements include a 1913 three story triplex and a detached two car garage. A driveway located on Ocean Boulevard provides access to the garage.

The existing home is built over two legal lots: a 55 foot wide by 200 feet deep interior lot and a 45 foot wide by 200 feet deep corner lot adjacent to Paloma Avenue. The property owner is proposing to reorient the lot line to create a 100 foot wide lot fronting on Ocean Boulevard with 120 feet of frontage on Paloma Avenue 12,000 square feet in area and a 80 foot wide lot fronting on Paloma Avenue 100 feet deep and 8,000 square feet in area adjacent to the alley. A part of this request will be to remove the existing driveway on Ocean Boulevard, demolish the existing two car garage located in the rear of the lot along the west property line and construct a new two car garage accessed from Paloma Avenue.

A new two story home and attached garage with alley access is proposed to be constructed on the newly created lot. This home will require subsequent approval of a Certificate of Appropriateness from the Cultural Heritage Commission. The City's Zoning Administrator will hear the request for the Lot Line Adjustment and Local Coastal Development Permit. The proposed conceptual plans are attached for your review and comment on this project.

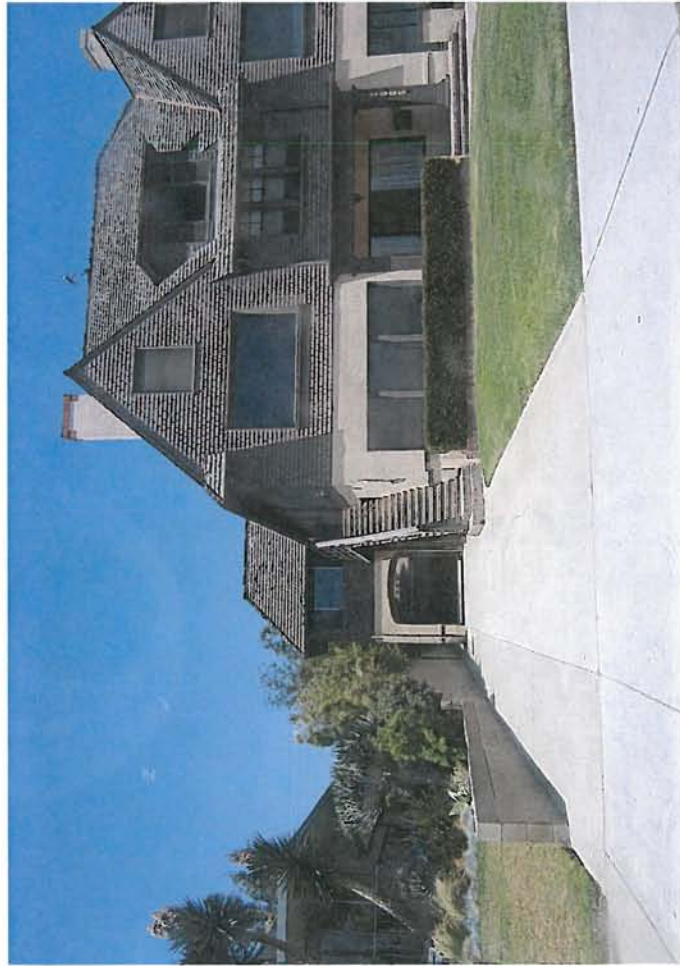
SG:lf

Attachments: Drawings and photographs



**Study Session
Attachment**

Item 1



**Study Session
Attachment**





ROBERT J. TAVASCI ARCHITECT
 3351 ORANGEWOOD AVE
 LOS ALAMITOS, CA 90720
 PH: 562.843.1494



OWNER:
WEATHERING HEIGHTS, LLC
 3605 E. OCEAN BLVD.
 LONG BEACH, CA. 90803

PROJECT:
LOT LINE ADJUSTMENT PROJECT
 3065 E. OCEAN BLVD.
 LONG BEACH, CA. 90803

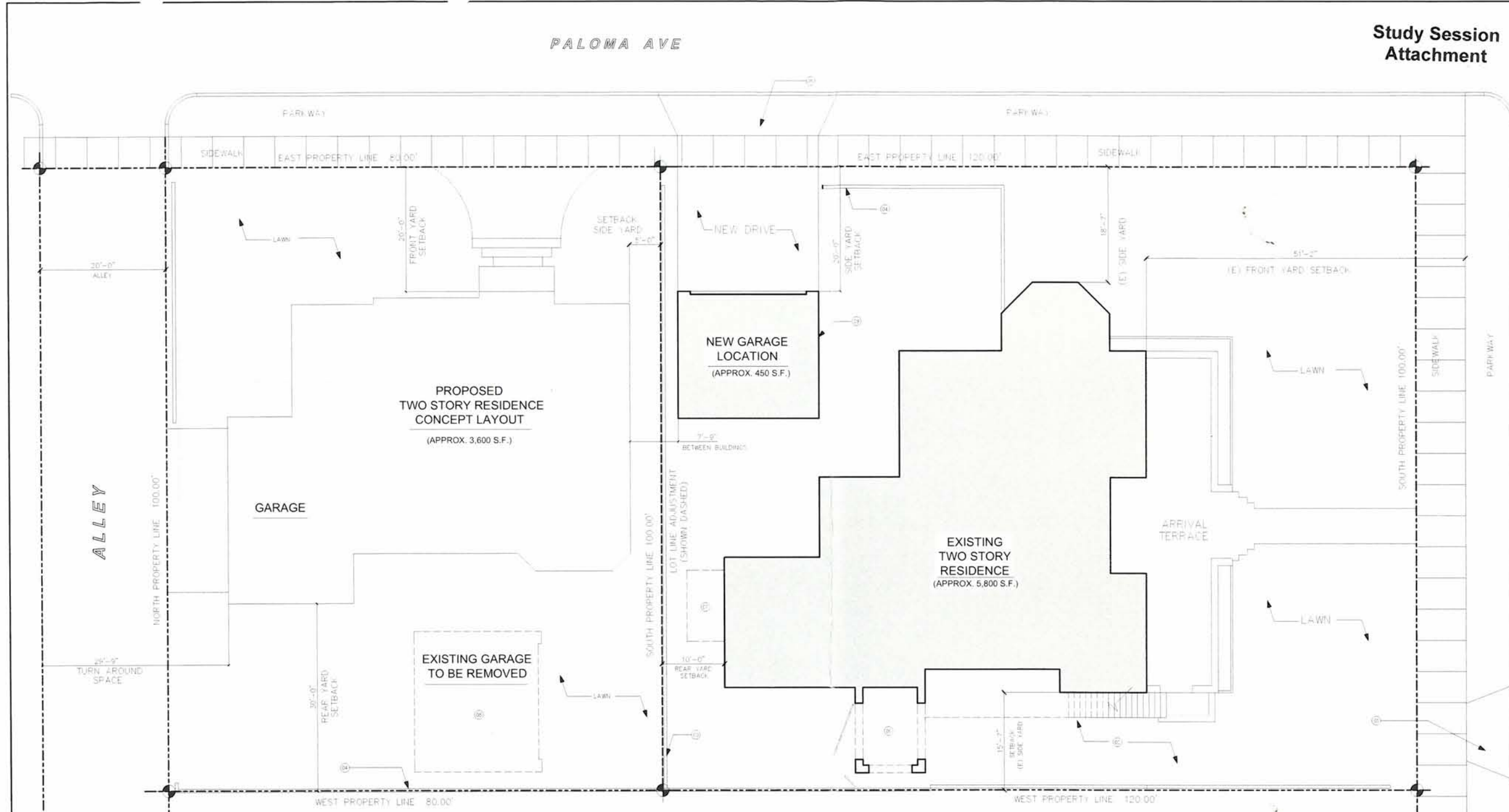
REVISIONS

NO.	DESCRIPTION

SHEET TITLE
PROPOSED LOT LINE ADJUSTMENT / SITE PLAN

PROJECT NO. 2044-14
 DATE 2 MAY 2014
 DRAWN BY: RJT
 SCALE: 1/8" = 1'-0"
 FILE: 3065 E OCEAN.dwg
 SHEET NO.

T-1.1



PROPOSED SITE PLAN W/ LOT LINE ADJUSTMENT

SYM	DET	DESCRIPTION
(01)		EXISTING CONCRETE DRIVE APPROACH TO BE REMOVED, FILL IN CURB, GUTTER AND WALK
(02)		EXISTING CONCRETE DRIVE TO BE REMOVED AND FILL WITH LAWN AND LANDSCAPING
(03)		NEW 6' HIGH CMU WALL
(04)		EXISTING 6' HIGH CMU WALL
(05)		NEW CURB CUT AND CONC. DRIVE APPROACH
(06)		EXISTING STRUCTURE TO REMAIN
(07)		EXISTING ONE STORY STRUCTURE TO BE REMOVED
(08)		EXISTING ONE STORY GARAGE STRUCTURE TO BE REMOVED
(09)		RELOCATION OF NEW 2 CAR GARAGE

GENERAL NOTES
1. REFER TO GENERAL NOTE SHEET FOR ADDITIONAL INFORMATION.
2. CITY GRADING ENGINEER SHALL BE CONTACTED PRIOR TO START OF GRADING TO SCHEDULE 1 PRE-GRADING MEETING.
3. REFER TO GRADING PLAN FOR PRECISE GRADING INFORMATION.
4. REFER TO SOILS REPORT FOR GRADING REQUIREMENTS.
5. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO HAVE GRADING, COMPACTION, BACK-FILLING, FOOTING AND UTILITY PROJECTIONS COMPLETED PRIOR TO BEGINNING NEXT PHASE OF CONSTRUCTION.
6. SEPARATE PERMIT REQUIRED FOR EACH BUILDING OR STRUCTURE, I.E. FENCE WALLS, RETAINING WALLS, SWIMMING POOLS, ETC.
7. BUILDING ADDRESS NUMBERS TO BE PROVIDED ON THE FRONT OF ALL BUILDINGS AND SHALL BE VISIBLE AND LEGIBLE FROM STREET FRONT. PROPERTY, SAID NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. FIRE CODE 901.4.4
8. FINISH GRADE WITHIN 10 FEET OF THE NEW STRUCTURE SHALL BE SLORED A MINIMUM OF 5% AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES.

SCOPE OF WORK (PROPOSED)
(01) - REMOVE EXISTING CONCRETE DRIVE APPROACH AND FILL IN WITH APPROVED CURB, GUTTER AND WALK AS PER CITY STANDARDS
(05) - CUT IN NEW CONCRETE DRIVE APPROACH TO COMFORM TO CITY STANDARDS
(06) - REMOVE EXISTING GARAGE
(09) - CONSTRUCT NEW GARAGE TO CONFORM TO CITY REGULATIONS AND HISTORICAL DISTRICT STANDARDS

PROJECT DATA	
CLIENT:	
PROJECT ADDRESS: 3065 E. OCEAN BLVD. SEAL BEACH, CA 90740	
ZONING INFORMATION:	
ZONE:	R-2L
OCCUPANCY:	R
CONSTRUCTION TYPE:	TYPE I-B
MAXIMUM HEIGHT:	35 FT (31 FT PROVIDED)
MAX. LOT COVERAGE:	60% (33% PROVIDED)
MIN. LOT SIZE:	8,000 SQ FT (8,000 SQ FT PROVIDED)
SETBACKS:	
FRONT:	15'-0" REQUIRED / 20'-0" PROVIDED
REAR:	10'-0" REQUIRED / 30'-0" PROVIDED
SIDE YARD:	4'-0" REQUIRED / 5'-0" PROVIDED

Study Session Attachment



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OWNER:
WEATHERING HEIGHTS, LLC
3605 E. OCEAN BLVD.
LONG BEACH, CA. 90803

PROJECT:
LOT LINE ADJUSTMENT PROJECT
3065 E. OCEAN BLVD.
LONG BEACH, CA. 90803

REVISIONS

SHEET TITLE

EXTERIOR ELEVATIONS OF EXISTING RESIDENCE

PROJECT NO. 2044-14
DATE 2 MAY 2014
DRAWN BY RJT
SCALE NTS
FILE 3065 E OCEAN.dwg

SHEET NO

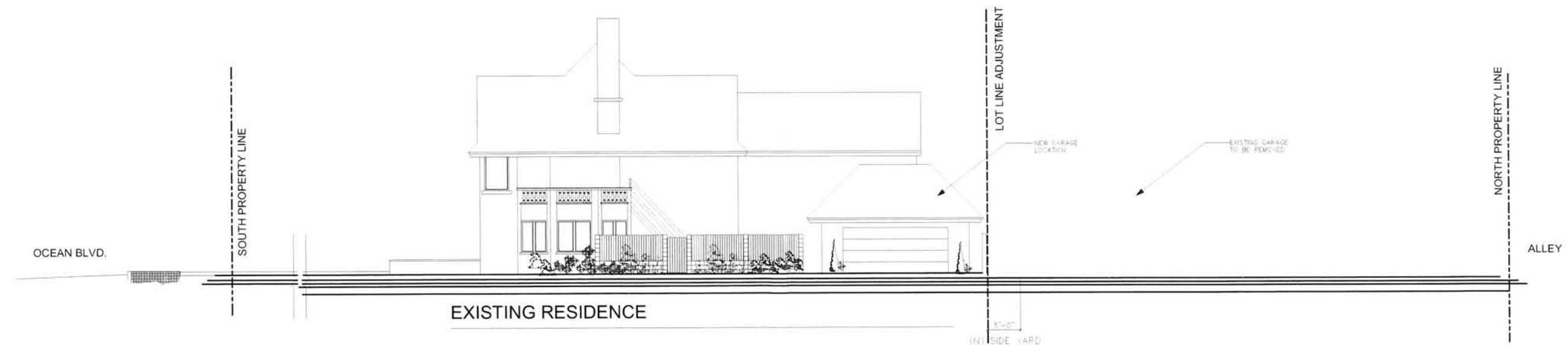
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EXISTING RESIDENCE
EXISTING SOUTH ELEVATION
(FRONT ON OCEAN BLVD. WITH GARAGE VIEW)
(View of Garage from Street with Stairs and Porte Cochere shown with dashed lines)



EXISTING RESIDENCE
EXISTING SOUTH ELEVATION
(FRONT ON OCEAN BLVD. WITH PORTE COCHERE VIEW)
(View of Garage beyond shown with Stairs and Porte Cochere, Garage shown with dashed lines as it is not seen in total from street)



EXISTING RESIDENCE
EXISTING EAST ELEVATION
(RIGHT SIDE ON PALOMA STREET WITH EXISTING AND NEW GARAGE)



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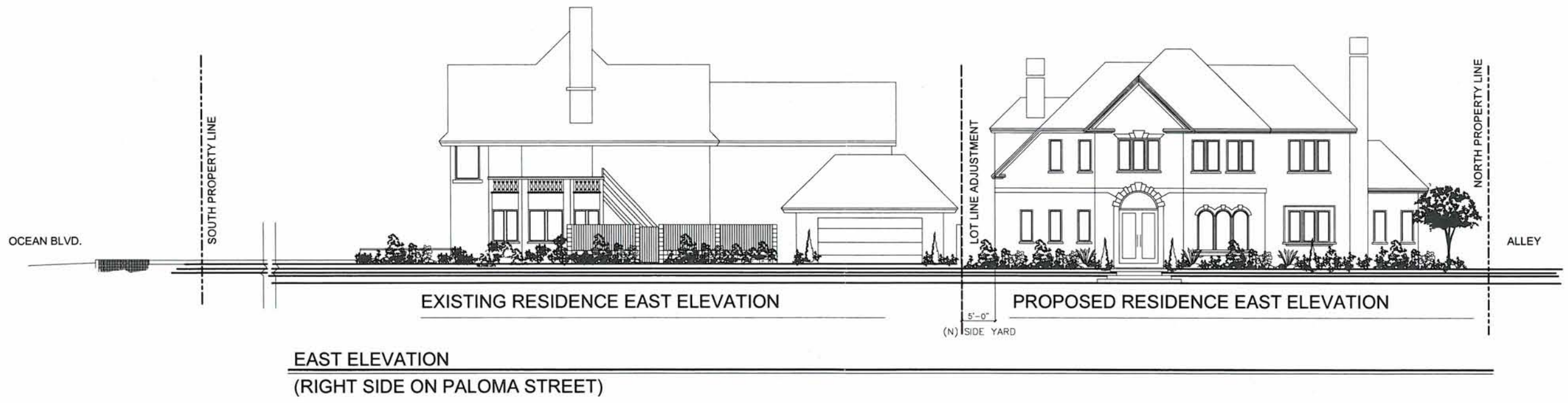
PROJECT:
LOT LINE ADJUSTMENT
3605 E. OCEAN BLVD.
LONG BEACH, CA. 90803

REVISIONS

SHEET TITLE:
EXTERIOR
ELEVATIONS OF
EXISTING AND
PROPOSED
RESIDENCE

PROJECT NO. 2044-14
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DRAWN BY: RJT
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FILE: 3605 E OCEAN.dwg
SHEET NO.

T-1.3



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